

SECTION 32 **STATEMENT**

PURSUANT TO DIVISION 2 OF PART II
SECTION 32 OF THE SALE OF LAND ACT 1962 (VIC)

Vendor: Craig Alan Kenins and Tamara Michelle Willett

Property: 283 MONBULK ROAD, SILVAN VIC 3795

Awesome
conveyancing

VENDORS REPRESENTATIVE

Awesome Conveyancing

Tel: 03 9727 4429

Email: info@awesomeconveyancing.com.au

Ref: KOT:23/3688

SECTION 32 STATEMENT
283 MONBULK ROAD, SILVAN VIC 3795

32A FINANCIAL MATTERS

Information concerning any rates, taxes, charges or other similar outgoings AND any interest payable on any part of them is contained in the attached certificate/s and as follows-

Their total does not exceed \$4,000

Any further amounts (including any proposed Owners Corporation Levy) for which the Purchaser may become liable as a consequence of the purchase of the property are as follows:- None to the Vendors knowledge

At settlement the rates will be adjusted between the parties, so that they each bear the proportion of rates applicable to their respective periods of occupancy in the property.

32B INSURANCE

(a) Where the Contract does not provide for the land to remain at the risk of the Vendor, particulars of any policy of insurance maintained by the Vendor in respect of damage to or destruction of the land are as follows: - Not Applicable

32C LAND USE

(a) **RESTRICTIONS**

Information concerning any easement, covenant or similar restriction affecting the land (whether registered or unregistered) is as follows:-

- Easements affecting the land are as set out in the attached copies of title.
- Covenants affecting the land are as set out in the attached copies of title.
- Other restrictions affecting the land are as attached.
- Particulars of any existing failure to comply with the terms of such easement, covenant and/or restriction are as follows:-

To the best of the Vendor's knowledge there is no existing failure to comply with the terms of any easement, covenant or similar restriction affecting the land. The Purchaser should note that there may be sewers, drains, water pipes, underground and/or overhead electricity cables, underground and/or overhead telephone cables and underground gas pipes laid outside any registered easements and which are not registered or required to be registered against the Certificate of Title.

(b) **BUSHFIRE**

This land is in a designated bushfire- prone area within the meaning of the regulations made under the *Building Act 1993*.

(c) **ROAD ACCESS**

There is access to the Property by Road.

(d) **PLANNING**

Planning Scheme: See attached Property Report

Responsible Authority:

Zoning:

Planning Overlay/s:

SECTION 32 STATEMENT
283 MONBULK ROAD, SILVAN VIC 3795

32D NOTICES

Other than those disclosed in the attachments (if any), the Vendor is not aware of any Notices, Declarations, Property Management Plans, Reports, Recommendations or Orders in respect of the land issued by a Government Department or Public Authority or any approved proposal directly and currently affecting the land however the Vendor has no means of knowing all decisions of the Government and other authorities unless such decisions have been communicated to the Vendor.

32E BUILDING PERMITS

Particulars of any Building Permit issued under the *Building Act 1993* during the past seven years (where there is a residence on the land):-

Is contained in the attached Certificate/s.

32F OWNERS CORPORATION

The Land is NOT affected by an Owners Corporation within the meaning of the *Owners Corporation Act 2006*.

32G GROWTH AREAS INFRASTRUCTURE CONTRIBUTION (GAIC)

(1) The land, in accordance with a work-in-kind agreement (within the meaning of Part 9B of the *Planning and Environment Act 1987* is NOT –

- land that is to be transferred under the agreement.
- land on which works are to be carried out under the agreement (other than Crown land).
- land in respect of which a GAIC is imposed

32H SERVICES

Service	Status
Electricity supply	Connected
Gas supply	Connected
Water supply	Connected
Sewerage	Not Connected (Septic Tank)
Telephone services	Not Connected

Connected indicates that the service is provided by an authority and operating on the day of sale. The Purchaser should be aware that the Vendor may terminate any account with a service provider before settlement, and the purchaser may need to have the service reconnected.

32I TITLE

Attached are the following document/s concerning Title:

A copy of the Register Search Statement/s and the document/s, or part of the document/s, referred to as the diagram location in the Register Search Statement/s that identifies the land and its location.

ATTACHMENTS

Attached to this Section 32 Statement please find:-

- All documents noted as attached within this Section 32 Statement
- Due Diligence Checklist
- Register Search Statement
- Property Report
- Planning Certificate
- Water Information Certificate
- Land Information Certificate
- Building Information Certificate

SECTION 32 STATEMENT
283 MONBULK ROAD, SILVAN VIC 3795

DATE OF THIS STATEMENT

24 / 03 / 20 23

Name of the Vendor

Craig Alan Kenins and Tamara Michelle Willett

Signature/s of the Vendor

x



The Purchaser acknowledges being given a duplicate of this statement signed by the Vendor before the Purchaser signed any contract.

The Purchaser further acknowledges being directed to the DUE DILIGENCE CHECKLIST.

DATE OF THIS ACKNOWLEDGMENT

/ / 20

Name of the Purchaser

Signature/s of the Purchaser

x

Due diligence checklist

What you need to know before buying a residential property

Before you buy a home, you should be aware of a range of issues that may affect that property and impose restrictions or obligations on you, if you buy it. This checklist aims to help you identify whether any of these issues will affect you. The questions are a starting point only and you may need to seek professional advice to answer some of them. You can find links to organisations and web pages that can help you learn more, by visiting the [Due diligence checklist page on the Consumer Affairs Victoria website](http://consumer.vic.gov.au/duediligencechecklist) (consumer.vic.gov.au/duediligencechecklist).

Urban living

Moving to the inner city?

High density areas are attractive for their entertainment and service areas, but these activities create increased traffic as well as noise and odours from businesses and people. Familiarising yourself with the character of the area will give you a balanced understanding of what to expect.

Is the property subject to an owners corporation?

If the property is part of a subdivision with common property such as driveways or grounds, it may be subject to an owners corporation. You may be required to pay fees and follow rules that restrict what you can do on your property, such as a ban on pet ownership.

Growth areas

Are you moving to a growth area?

You should investigate whether you will be required to pay a growth areas infrastructure contribution.

Flood and fire risk

Does this property experience flooding or bushfire?

Properties are sometimes subject to the risk of fire and flooding due to their location. You should properly investigate these risks and consider their implications for land management, buildings and insurance premiums.

Rural properties

Moving to the country?

If you are looking at property in a rural zone, consider:

- Is the surrounding land use compatible with your lifestyle expectations? Farming can create noise or odour that may be at odds with your expectations of a rural lifestyle.
- Are you considering removing native vegetation? There are regulations which affect your ability to remove native vegetation on private property.
- Do you understand your obligations to manage weeds and pest animals?

Can you build new dwellings?

Does the property adjoin crown land, have a water frontage, contain a disused government road, or are there any crown licences associated with the land?

Is there any earth resource activity such as mining in the area?

You may wish to find out more about exploration, mining and quarrying activity on or near the property and consider the issue of petroleum, geothermal and greenhouse gas sequestration permits, leases and licences, extractive industry authorisations and mineral licences.

Soil and groundwater contamination

Has previous land use affected the soil or groundwater?

You should consider whether past activities, including the use of adjacent land, may have caused contamination at the site and whether this may prevent you from doing certain things to or on the land in the future.

(04/10/2016)

Land boundaries

Do you know the exact boundary of the property?

You should compare the measurements shown on the title document with actual fences and buildings on the property, to make sure the boundaries match. If you have concerns about this, you can speak to your lawyer or conveyancer, or commission a site survey to establish property boundaries.

Planning controls

Can you change how the property is used, or the buildings on it?

All land is subject to a planning scheme, run by the local council. How the property is zoned and any overlays that may apply, will determine how the land can be used. This may restrict such things as whether you can build on vacant land or how you can alter or develop the land and its buildings over time.

The local council can give you advice about the planning scheme, as well as details of any other restrictions that may apply, such as design guidelines or bushfire safety design. There may also be restrictions – known as encumbrances – on the property's title, which prevent you from developing the property. You can find out about encumbrances by looking at the section 32 statement.

Are there any proposed or granted planning permits?

The local council can advise you if there are any proposed or issued planning permits for any properties close by. Significant developments in your area may change the local 'character' (predominant style of the area) and may increase noise or traffic near the property.

Safety

Is the building safe to live in?

Building laws are in place to ensure building safety. Professional building inspections can help you assess the property for electrical safety, possible illegal building work, adequate pool or spa fencing and the presence of asbestos, termites, or other potential hazards.

Building permits

Have any buildings or retaining walls on the property been altered, or do you plan to alter them?

There are laws and regulations about how buildings and retaining walls are constructed, which you may wish to investigate to ensure any completed or proposed building work is approved. The local council may be able to give you information about any building permits issued for recent building works done to the property, and what you must do to plan new work. You can also commission a private building surveyor's assessment.

Are any recent building or renovation works covered by insurance?

Ask the vendor if there is any owner-builder insurance or builder's warranty to cover defects in the work done to the property.

Utilities and essential services

Does the property have working connections for water, sewerage, electricity, gas, telephone and internet?

Unconnected services may not be available, or may incur a fee to connect. You may also need to choose from a range of suppliers for these services. This may be particularly important in rural areas where some services are not available.

Buyers' rights

Do you know your rights when buying a property?

The contract of sale and section 32 statement contain important information about the property, so you should request to see these and read them thoroughly. Many people engage a lawyer or conveyancer to help them understand the contracts and ensure the sale goes through correctly. If you intend to hire a professional, you should consider speaking to them before you commit to the sale. There are also important rules about the way private sales and auctions are conducted. These may include a cooling-off period and specific rights associated with 'off the plan' sales. The important thing to remember is that, as the buyer, you have rights.

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 10632 FOLIO 992

Security no : 124104774859M
Produced 20/03/2023 02:59 PM

LAND DESCRIPTION

Lot 1 on Plan of Subdivision 504228K.
PARENT TITLE Volume 08704 Folio 452
Created by instrument PS504228K 25/02/2002

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors

TAMARA MICHELLE WILLETT
CRAIG ALAN KENINS both of 283 MONBULK ROAD SILVAN VIC 3795
AV276844X 28/01/2022

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AV276845V 28/01/2022
COMMONWEALTH BANK OF AUSTRALIA

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS504228K FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

ADMINISTRATIVE NOTICES

NIL

eCT Control 15940N COMMONWEALTH BANK OF AUSTRALIA
Effective from 28/01/2022

DOCUMENT END

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Imaged Document Cover Sheet


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Document Type	Plan
Document Identification	PS504228K
Number of Pages (excluding this cover sheet)	2
Document Assembled	20/03/2023 15:24

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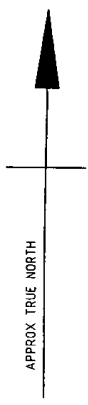
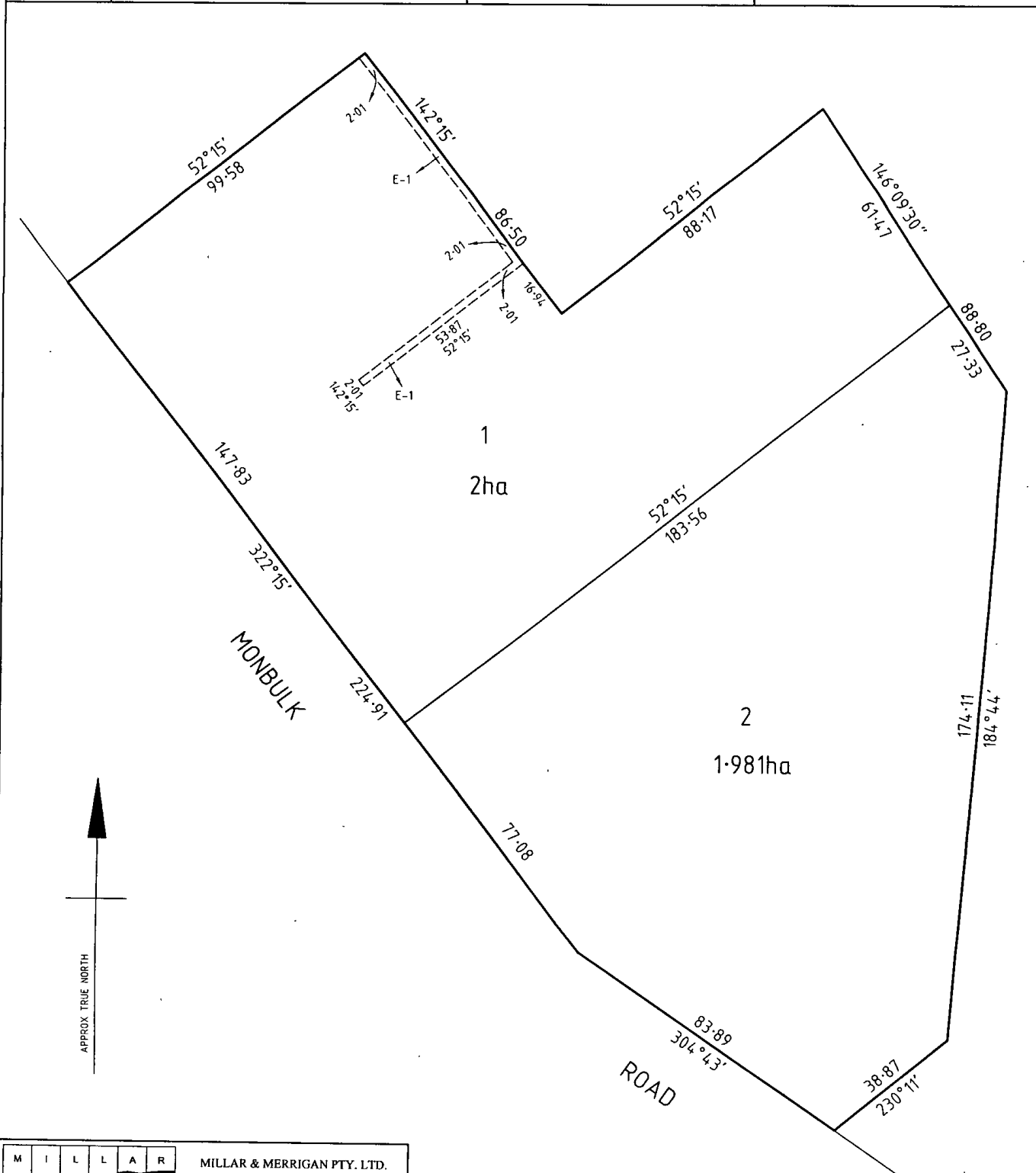
PLAN OF SUBDIVISION		STAGE NO. /	LTO use only EDITION 1	Plan Number PS 504228K		
Location of Land Parish: WANDIN YALLOCK Crown Allotment: 122 (PART) Title Reference: VOL 8704 FOL 452 Last Plan Reference: LP26888 LOTS 1 TO 10 & LP52857 LOT 3 (PART) Postal Address: 283-293 MONBULK ROAD SILVAN 3795 AMG Co-ordinates (of approx. centre of land in plan) E 361 300 N 5811 850 Zone: 55		Council Certification and Endorsement Council Name: YARRA RANGES Ref: 7412 1. This plan is certified under section 6 of the Subdivision Act 1988. 2. This plan is certified under section 11(7) of the Subdivision Act 1988, Date of original certification under section 6 / / 3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988. OPEN SPACE (i) A requirement for public open space under section 18 of the Subdivision Act 1988 has/has not been made. (ii) The requirement has been satisfied. (iii) The requirement is to be satisfied in Stage..... Council delegate Date 18 / 12 / 01 Re-certified under section 11(7) of the Subdivision Act 1988 Council Delegate Date / /				
Vesting of Roads and Reserves						
Identifier	Council/Body/Person					
NIL	NIL					
Notations						
		Staging	This is not a staged subdivision. Planning Permit No. YR-2001/1175			
		Depth Limitation	DOES NOT APPLY.			
Survey This plan is not based on survey. This survey has been connected to permanent marks no(s) — In Proclaimed Survey Area No. —						
Easement Information			LTO use only			
Legend: E - Encumbering Easement or Condition in Crown Grant in the Nature of an Easement or other Encumbrance A - Appurtenant Easement R - Encumbering Easement (Road)			Statement of Compliance/ Exemption Statement			
			Received <input checked="" type="checkbox"/>			
			Date 24 / 1 / 2001			
			LTO use only			
			PLAN REGISTERED			
			TIME 5.23 PM			
			DATE 25 / 1 / 02			
			<i>L. Ormsby</i>			
			Assistant Registrar of Titles			
			Sheet 1 of 2 Sheets			
 MILLAR & MERRIGAN PTY. LTD. ACN 005 541 668 21 COOLSTORE ROAD, CROYDON Telephone (03) 9725 8866 Facsimile (03) 9725 2710 PO BOX 247 CROYDON VIC 3136		LICENSED SURVEYOR Bradley Terjesen SIGNATURE DATE / / REF 9087S1 VERSION 1:4/12/2001			Date / / COUNCIL DELEGATE SIGNATURE Original sheet size A3	

PLAN OF SUBDIVISION

Stage No.

Plan Number

PS 504228K



MONBULK

ROAD

1
2ha

2
1.981ha

M	I	L	L	A	R	MILLAR & MERRIGAN PTY. LTD. ACN 005 541 668 21 COOLSTORE ROAD, CROYDON Telephone (03) 9725 8866 Facsimile (03) 9725 2710 PO BOX 247 CROYDON 3136
Merrigan						
Land Development Consultants						

ORIGINAL	SCALE
SCALE	SHEET SIZE
1:1000	A3
10 0 20 40 LENGTHS ARE IN METRES	

LICENSED SURVEYOR Bradley Terjesen

SIGNATURE DATE / /

REF 9087S1 VERSION 1

Sheet 2 of 2 Sheets

.....

Date / /

COUNCIL DELEGATE SIGNATURE

From www.planning.vic.gov.au at 23 March 2023 07:03 PM

PROPERTY DETAILS

Address: **283 MONBULK ROAD SILVAN 3795**
 Lot and Plan Number: **Lot 1 PS504228**
 Standard Parcel Identifier (SPI): **1\PS504228**
 Local Government Area (Council): **YARRA RANGES**
 Council Property Number: **180885**
 Planning Scheme: **Yarra Ranges**
 Directory Reference: **Melway 121 B12**

www.yarraranges.vic.gov.au

[Planning Scheme - Yarra Ranges](#)

UTILITIES

Rural Water Corporation: **Southern Rural Water**
 Melbourne Water Retailer: **Yarra Valley Water**
 Melbourne Water: **Inside drainage boundary**
 Power Distributor: **AUSNET**

STATE ELECTORATES

Legislative Council: **EASTERN VICTORIA**
 Legislative Assembly: **MONBULK**

OTHER

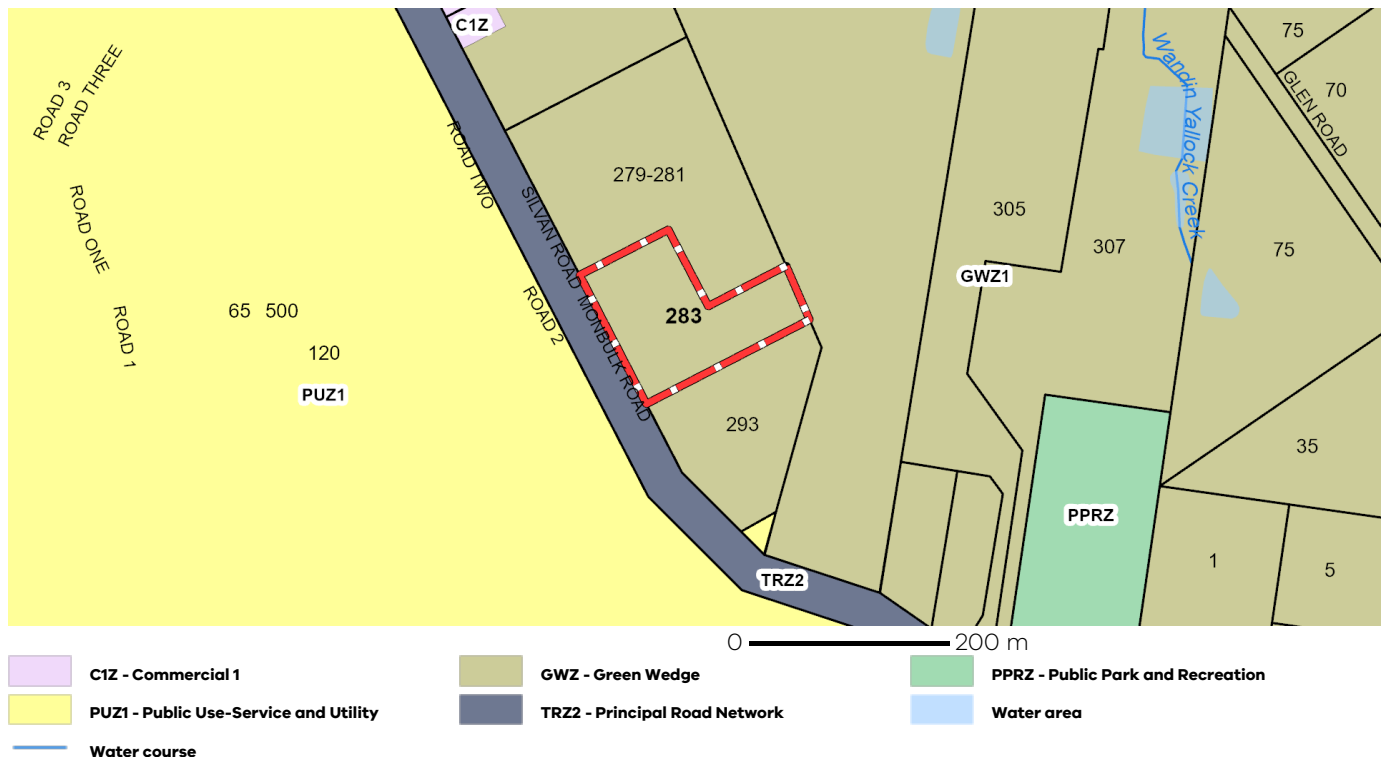
Registered Aboriginal Party: **Wurundjeri Woi Wurrung Cultural Heritage Aboriginal Corporation**

[View location in VicPlan](#)

Planning Zones

[GREEN WEDGE ZONE \(GWZ\)](#)

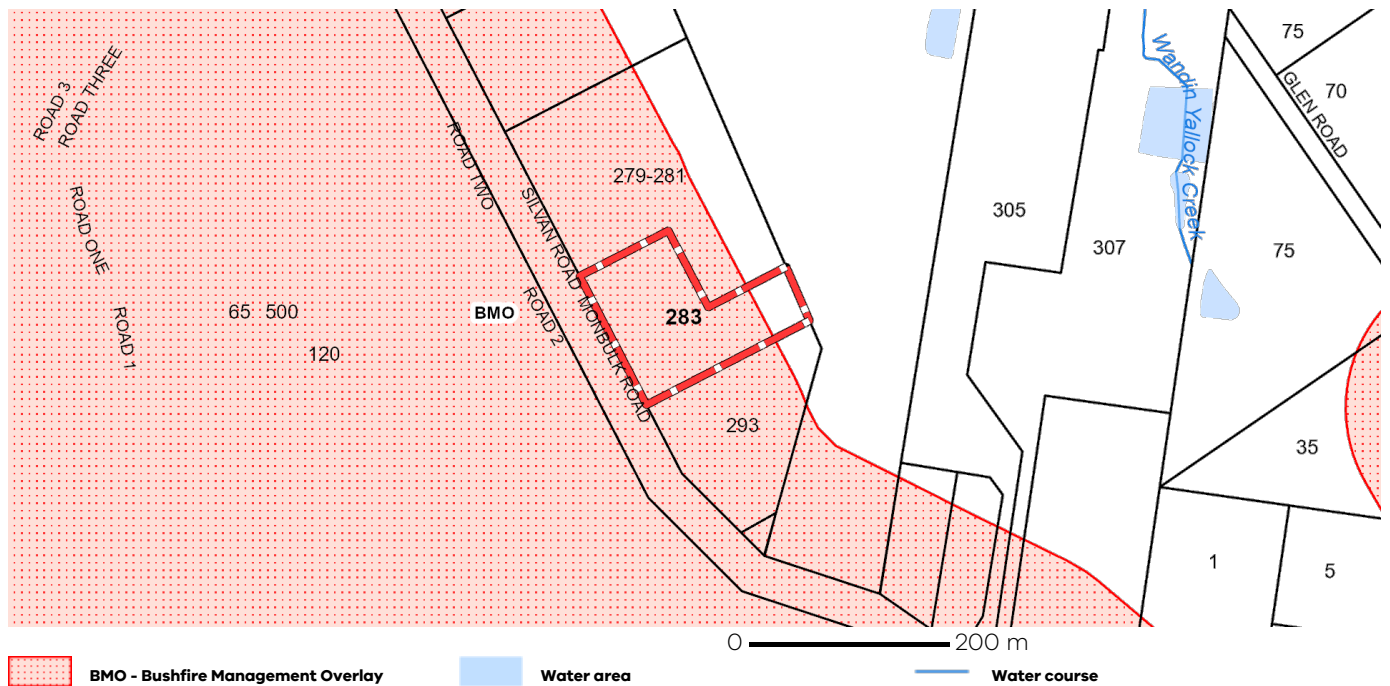
[GREEN WEDGE ZONE - SCHEDULE 1 \(GWZ1\)](#)



Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

Planning Overlays

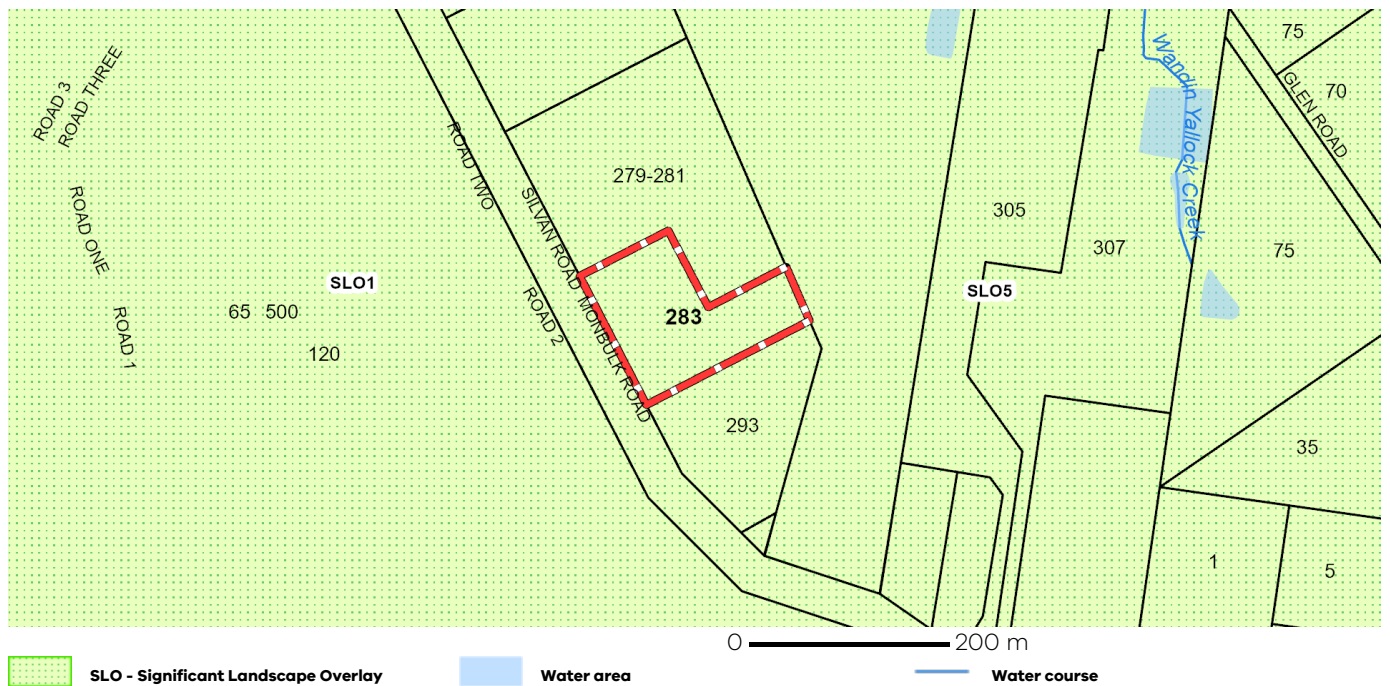
BUSHFIRE MANAGEMENT OVERLAY (BMO)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

SIGNIFICANT LANDSCAPE OVERLAY (SLO)

SIGNIFICANT LANDSCAPE OVERLAY - SCHEDULE 5 (SLO5)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

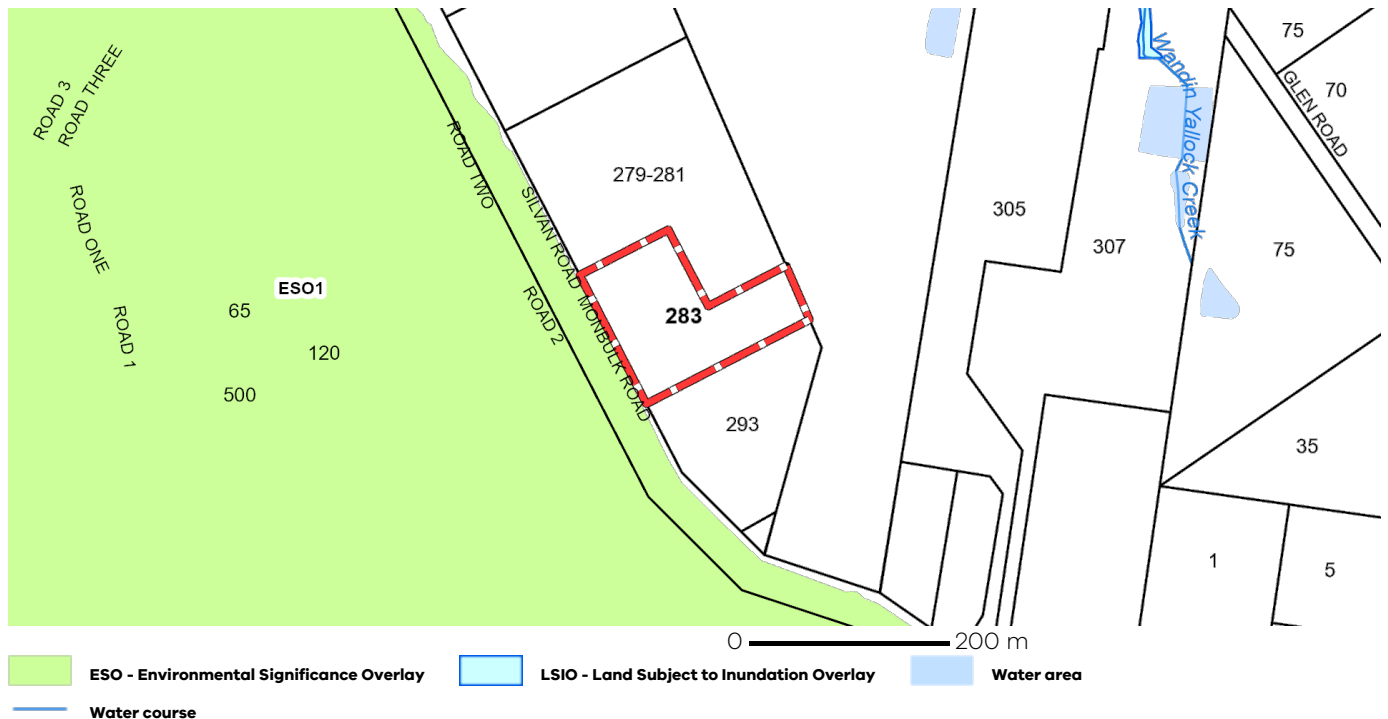
Planning Overlays

OTHER OVERLAYS

Other overlays in the vicinity not directly affecting this land

[ENVIRONMENTAL SIGNIFICANCE OVERLAY \(ESO\)](#)

[LAND SUBJECT TO INUNDATION OVERLAY \(LSIO\)](#)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

Further Planning Information

Planning scheme data last updated on 17 March 2023.

A **planning scheme** sets out policies and requirements for the use, development and protection of land.

This report provides information about the zone and overlay provisions that apply to the selected land.

Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council

or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**.

It does not include information about exhibited planning scheme amendments, or zonings that may affect the land.

To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit

<https://mapshare.maps.vic.gov.au/vicplan>

For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

Designated Bushfire Prone Areas

This property is in a designated bushfire prone area. Special bushfire construction requirements apply to the part of the property mapped as a designated bushfire prone area (BPA). Planning provisions may apply.

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



Designated BPA are determined by the Minister for Planning following a detailed review process. The Building Regulations 2018, through adoption of the Building Code of Australia, apply bushfire protection standards for building works in designated BPA.

Designated BPA maps can be viewed on VicPlan at <https://mapshare.vic.gov.au/vicplan/> or at the relevant local council.

Create a BPA definition plan in [VicPlan](#) to measure the BPA.

Information for lot owners building in the BPA is available at <https://www.planning.vic.gov.au>.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>. Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>. For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>.

Native Vegetation

Native plants that are indigenous to the region and important for biodiversity might be present on this property. This could include trees, shrubs, herbs, grasses or aquatic plants. There are a range of regulations that may apply including need to obtain a planning permit under Clause 52.17 of the local planning scheme. For more information see [Native Vegetation \(Clause 52.17\)](#) with local variations in [Native Vegetation \(Clause 52.17\) Schedule](#)

To help identify native vegetation on this property and the application of Clause 52.17 please visit the Native Vegetation Information Management system <https://nvim.delwp.vic.gov.au/> and [Native vegetation \(environment.vic.gov.au\)](https://www.environment.vic.gov.au) or please contact your relevant council.

You can find out more about the natural values on your property through NatureKit [NatureKit \(environment.vic.gov.au\)](https://www.environment.vic.gov.au)

PLANNING CERTIFICATE

Official certificate issued under Section 199 Planning & Environment Act 1987
and the Planning and Environment Regulations 2005

CERTIFICATE REFERENCE NUMBER

915999

APPLICANT'S NAME & ADDRESS

AWESOME CONVEYANCING C/- TRICONVEY (RESELLER) C/-
LANDATA

MELBOURNE

VENDOR

KENINS, CRAIG ALAN

PURCHASER

TBA, TBA

REFERENCE

364059

This certificate is issued for:

LOT 1 PLAN PS504228 ALSO KNOWN AS 283 MONBULK ROAD SILVAN
YARRA RANGES SHIRE

The land is covered by the:

YARRA RANGES PLANNING SCHEME

The Minister for Planning is the responsible authority issuing the Certificate.

The land:

- is included in a GREEN WEDGE ZONE - SCHEDULE 1
- is within a BUSHFIRE MANAGEMENT OVERLAY
- and a SIGNIFICANT LANDSCAPE OVERLAY - SCHEDULE 5
- and abuts a TRANSPORT ZONE 2 - PRINCIPAL ROAD NETWORK

A Proposed Amending Planning Scheme C148 has been placed on public exhibition which shows this property :

- is within a AREA TO BE DELETED FROM A SIGNIFICANT LANDSCAPE
OVERLAY - C148
- and a SIGNIFICANT LANDSCAPE OVERLAY - SCHEDULE 5 - C148
- and is AREA OUTSIDE THE URBAN GROWTH BOUNDARY

A detailed definition of the applicable Planning Scheme is available at :
(<http://planningschemes.dpcd.vic.gov.au/schemes/yarraranges>)

Historic buildings and land protected under the Heritage Act 1995 are recorded in the Victorian
Heritage Register at:

<http://vhd.heritage.vic.gov.au/>

20 March 2023

Sonya Kilkenny
Minister for Planning

Additional site-specific controls may apply.
The Planning Scheme Ordinance should be
checked carefully.

The above information includes all
amendments to planning scheme maps
placed on public exhibition up to the date
of issue of this certificate and which are
still the subject of active consideration

Copies of Planning Schemes and
Amendments can be inspected at the
relevant municipal offices.

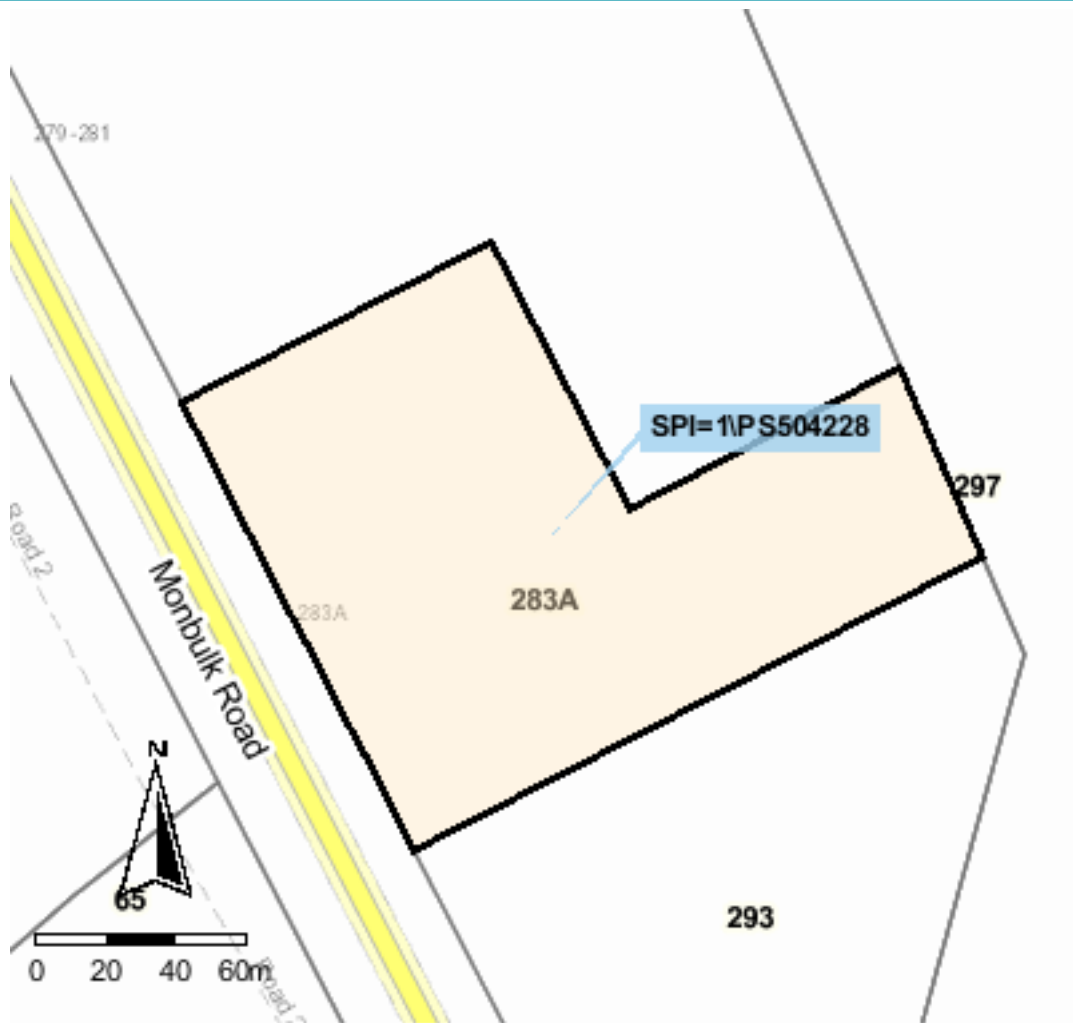
LANDATA@
T: (03) 9102 0402
E: landata.enquiries@servictoria.com.au

The attached certificate is issued by the Minister for Planning of the State of Victoria and is protected by statute.

The document has been issued based on the property information you provided. You should check the map below - it highlights the property identified from your information.

If this property is different to the one expected, you can phone (03) 9102 0402 or email landata.enquiries@servictoria.com.au

Please note: The map is for reference purposes only and does not form part of the certificate.



Copyright © State Government of Victoria. Service provided by maps.land.vic.gov.au

Choose the authoritative Planning Certificate

Why rely on anything less?

As part of your section 32 statement, the authoritative Planning Certificate provides you and / or your customer with the statutory protection of the State of Victoria.

Order online before 4pm to receive your authoritative Planning Certificate the same day, in most cases within the hour. Next business day delivery, if further information is required from you.

Privacy Statement

The information obtained from the applicant and used to produce this certificate was collected solely for the purpose of producing this certificate. The personal information on the certificate has been provided by the applicant and has not been verified by LANDATA®. The property information on the certificate has been verified by LANDATA®. The zoning information on the certificate is protected by statute. The information on the certificate will be retained by LANDATA® for auditing purposes and will not be released to any third party except as required by law.

20th March 2023

Awesome Conveyancing C/- Triconvey (Reseller) C/-
LANDATA

Dear Awesome Conveyancing C/- Triconvey (Reseller) C/- ,

RE: Application for Water Information Statement

Property Address:	283 MONBULK ROAD SILVAN 3795
Applicant	Awesome Conveyancing C/- Triconvey (Reseller) C/- LANDATA
Information Statement	30757141
Conveyancing Account Number	7959580000
Your Reference	364059

Thank you for your recent application for a Water Information Statement (WIS). We are pleased to provide you the WIS for the above property address. This statement includes:

- Yarra Valley Water Property Information Statement
- Asset Plan
- Rates Certificate

If you have any questions about Yarra Valley Water information provided, please phone us on **1300 304 688** or email us at the address enquiry@yvw.com.au. For further information you can also refer to the Yarra Valley Water website at www.yvw.com.au.

Yours sincerely,



Steve Lennox
GENERAL MANAGER
RETAIL SERVICES

Yarra Valley Water Property Information Statement

Property Address	283 MONBULK ROAD SILVAN 3795
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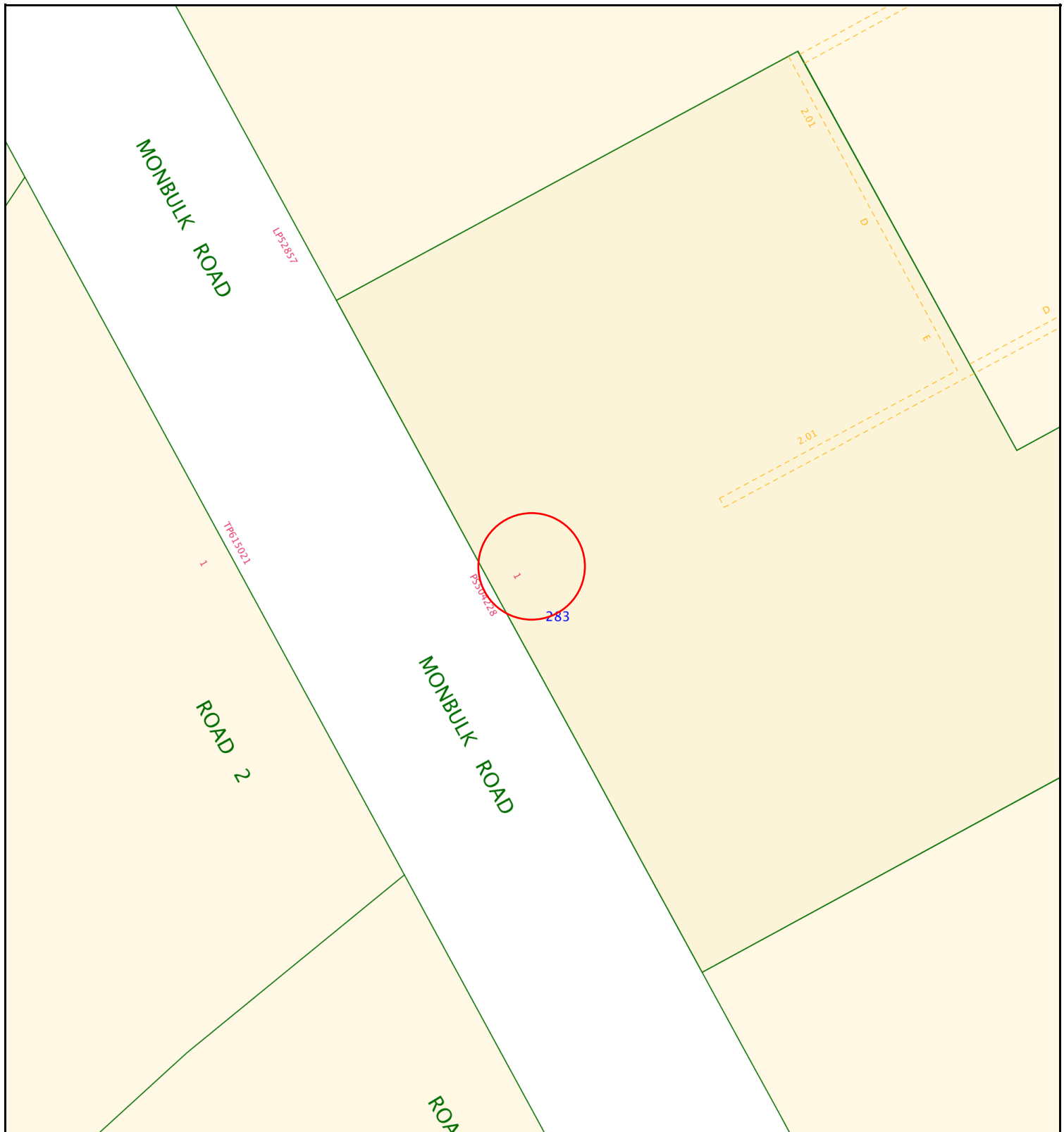
STATEMENT UNDER SECTION 158 WATER ACT 1989



THE FOLLOWING INFORMATION RELATES TO SECTION 158(3)













Existing sewer mains will be shown on the Asset Plan.

Please note: Unless prior consent has been obtained, the Water Act prohibits:

1. The erection and/or placement of any building, wall, bridge, fence, embankment, filling, material, machinery or other structure over or under any sewer or drain.
2. The connection of any drain or sewer to, or interference with, any sewer, drain or watercourse.



Yarra Valley Water Information Statement Number: 30757141	Address	283 MONBULK ROAD SILVAN 3795			 Yarra Valley Water ABN 93 066 902 501
	Date	20/03/2023			
	Scale	1:1000			

Existing Title		Access Point Number	GLV2-42	MW Drainage Channel Centreline	
Proposed Title		Sewer Manhole		MW Drainage Underground Centreline	
Easement		Sewer Pipe Flow		MW Drainage Manhole	
Existing Sewer		Sewer Offset	<1.00>	MW Drainage Natural Waterway	
Abandoned Sewer		Sewer Branch			

Disclaimer: This information is supplied on the basis Yarra Valley Water Ltd:
 - Does not warrant the accuracy or completeness of the information supplied, including, without limitation, the location of Water and Sewer Assets;
 - Does not accept any liability for loss or damage of any nature, suffered or incurred by the recipient or any other persons relying on this information;
 - Recommends recipients and other persons using this information make their own site investigations and accommodate their works accordingly;

Awesome Conveyancing C/- Triconvey (Reseller) C/-
LANDATA
certificates@landata.vic.gov.au

RATES CERTIFICATE

Account No: 3578807642
Rate Certificate No: 30757141

Date of Issue: 20/03/2023
Your Ref: 364059


With reference to your request for details regarding:

Property Address	Lot & Plan	Property Number	Property Type
283 MONBULK RD, SILVAN VIC 3795	1\PS504228	1598866	Residential

Agreement Type	Period	Charges	Outstanding
Residential Water Service Charge	01-01-2023 to 31-03-2023	\$19.47	\$0.00
Residential Water Usage Charge Step 1 – 40.480000kL x \$2.44510000 = \$98.98 Step 2 – 28.520000kL x \$3.12530000 = \$89.13 Estimated Average Daily Usage \$2.04	15-11-2022 to 15-02-2023	\$188.11	\$0.00
Parks Fee	01-07-2022 to 30-06-2023	\$81.60	\$0.00
Drainage Fee	01-01-2023 to 31-03-2023	\$14.84	\$0.00

Other Charges:

Interest	No interest applicable at this time		
	No further charges applicable to this property		
	Balance Brought Forward		\$0.00
	Total for This Property		\$0.00
	Total Due		\$0.00



GENERAL MANAGER
RETAIL SERVICES

Note:

1. Invoices generated with Residential Water Usage during the period 01/07/2017 – 30/09/2017 will include a Government Water Rebate of \$100.
2. This statement details all tariffs, charges and penalties due and payable to Yarra Valley Water as at the date of this statement and also includes tariffs and charges (other than for usage charges yet to be billed) which are due and payable to the end of the current financial quarter.
3. All outstanding debts are due to be paid to Yarra Valley Water at settlement. Any debts that are unpaid at settlement will carry over onto the purchaser's first quarterly account and follow normal credit and collection activities - pursuant to section 275 of the Water Act 1989.
4. If the total due displays a (-\$ cr), this means the account is in credit. Credit amounts will be transferred to the purchasers account at settlement.

5. Yarra Valley Water provides information in this Rates Certificate relating to waterways and drainage as an agent for Melbourne Water and relating to parks as an agent for Parks Victoria - pursuant to section 158 of the Water Act 1989.
6. The charges on this rates certificate are calculated and valid at the date of issue. To obtain up to date financial information, please order a Rates Settlement Statement prior to settlement.
7. From 01/10/2022, Residential Water Usage is billed using the following step pricing system: 244.51 cents per kilolitre for the first 44 kilolitres; 312.53 cents per kilolitre for 44-88 kilolitres and 463.00 cents per kilolitre for anything more than 88 kilolitres
8. From 01/07/2022, Residential Recycled Water Usage is billed 184.89 cents per kilolitre
9. From 01/07/2022, Residential Sewage Disposal is calculated using the following equation: Water Usage (kl) x Seasonal Factor x Discharge Factor x Price (cents/kl) 115.40 cents per kilolitre
10. From 01/07/2022, Residential Recycled Sewage Disposal is calculated using the following equation: Recycled Water Usage (kl) x Seasonal Factor x Discharge Factor x Price (cents/kl) 115.40 cents per kilolitre
11. The property is a serviced property with respect to all the services, for which charges are listed in the Statement of Fees above.

To ensure you accurately adjust the settlement amount, we strongly recommend you book a Special Meter Reading:

- Special Meter Readings ensure that actual water use is adjusted for at settlement.
- Without a Special Meter Reading, there is a risk your client's settlement adjustment may not be correct.

Property No: 1598866

Address: 283 MONBULK RD, SILVAN VIC 3795

Water Information Statement Number: 30757141

HOW TO PAY



Biller Code: 314567
Ref: 35788076421

**Amount
Paid**

**Date
Paid**

**Receipt
Number**

LAND INFORMATION CERTIFICATE

Section 229 Local Government Act 1989

PO Box 105
Lilydale Vic 3140
Call 1300 368 333
Fax (03) 9735 4249
ABN 21 973 226 012
www.yarraranges.vic.gov.au
mail@yarraranges.vic.gov.au



Certificate Number: 109022
Issue Date: 20-Mar-2023
Applicant Reference: 68279851-014-7:141449

Landata
DX 250639
MELBOURNE VIC

This certificate provides information regarding valuation, rates, charges, other monies owing and any orders and notices made under the Local Government Act 1958, Local Government Act 1989, Local Government Act 2020 or under a local law or by law of the council.

This certificate is not required to include information regarding planning, building, health, land fill, land slip, flooding information or service easements. Information regarding these matters may be available from the council or the relevant authority. A fee may be charged for such information.

PROPERTY INFORMATION

Assessment Number: 12325/4
Property Address: 283 Monbulk Road, Silvan VIC 3795
Property Description: Part Lot 1 PS504228 Ca PT122 PWandin Yallock

VALUATION INFORMATION

Current Level of Value Date: 1 January 2022
Operative Date of Value: 01-Jul-2022
Site Value: 480,000
Capital Improved Value: 875,000
Net Annual Value: 43,750

FINANCIAL INFORMATION

Rates and Charges Levied Year Ending 30 June 2023		Rates and Charges Summary	
Rate or Charge Type	Annual Charge	Description	Balance Outstanding
General Rates	2,081.60	Legal Charges Arrears	0.00
Waste Charge	312.00	Arrears & Previous Year Interest	0.00
Fire Services Property Levy	386.75	Current Interest on Arrears	0.00
		Interest on Current Rates	0.00
		Current Year Rates	2,780.35
		Rebates	0.00
		Payments since 1 July 2022	-2,085.35
		Overpayment	0.00
		Other	0.00
		Total Rates Outstanding	695.00
		Chargeable Works &/or EUA	0.00
		Local Govt Act 1989–Sec. 227	0.00
Total Annual Charge	2,780.35	Balance Outstanding	\$695.00

Rates are due to be paid in full by 15 Feb 2023, if payment is not being made by instalments.

Payment can be made by:

- BPAY – Biller Code 8979 Reference 123254
- On Council's website at yarraranges.vic.gov.au/payments by Visa or Mastercard using Reference 123254

BUILDING APPROVAL PARTICULARS

Building Act 1993 BUILDING REGULATIONS 2018 Regulation 51(1)

Certificate Number 116891
Your Reference 68279851-015-4:141448
Date Issued 21 March 2023

Landata
DX 250639
MELBOURNE VIC

Yarra Ranges Council
PO Box 105
Lilydale Vic 3140
DX 34051
Call 1300 368 333
Fax 03 9735 4249
mail@yarraranges.vic.gov.au
www.yarraranges.vic.gov.au



Property Address 283 Monbulk Road, Silvan VIC 3795
Property Description Part Lot 1 PS504228 Ca PT122 PWandin Yallock
Assessment Number 12325

An examination of Council's records reveals the following building approvals have been issued for the above property in the preceding 10 years and any current notices.

Please direct all enquiries to Building Services on 1300 368 333

Permit Number	Date issued	Brief Description of Works	Final Inspection	Reg 502(1) Statement, Notices, Order or Certificate
BS- 1270 B10977 Council ref: 38848/2015/0	26/05/2015	Dependant Persons Unit Issuer: Govorcin & Co Building Surveyors Builder: K Garrett (DB-L36528) Insurer: QBE Insurance (Australia) Limited Cost: \$70,888	11/12/2016	Certificate of Final Inspection Issued 06/04/2016 Occupancy Permit Issued 06/04/2016

Additional information under Regulation 51(2) can be obtained for an additional fee of \$48.80. This information will include details on whether a property is liable to flooding/designated land or works (uncontrolled overland drainage), subject to significant snowfalls or in a designated termite area.

Received the sum of \$48.80 for this certificate.

George Avramopoulos
Municipal Building Surveyor

NOTES

Smoke Alarms/Sprinkler Systems

The Building Regulations Part 7 Division 2 – Fire Safety in Certain Existing Residential Buildings states that you may be required to provide hard wired smoke alarms and/or automatic fire sprinkler systems in residential buildings.

Note: Smoke Alarms were required to be installed by 1.2.99 or within 30 days of settlement, whichever was the earlier.

Swimming Pools

The Building Regulations requires all swimming pools and spas capable of holding a depth of water exceeding 300mm to be provided with pool fencing/barriers. A building permit is required for any new fencing/barrier or alteration to existing fencing/barrier.

BUILDING APPROVAL PARTICULARS

Building Act 1993 BUILDING REGULATIONS 2018 Regulation 51(1)

Certificate Number 110424
Your Reference 69325301:105275316:106419
Date Issued 23 July 2021

SAI Global Property Division Pty Ltd
DX 502
MELBOURNE VIC

Yarra Ranges Council
PO Box 105
Lilydale Vic 3140
DX 34051
Call 1300 368 333
Fax 03 9735 4249
mail@yarraranges.vic.gov.au
www.yarraranges.vic.gov.au



Property Address 283 Monbulk Road, Silvan VIC 3795
Property Description Part Lot 1 PS504228 Ca PT122 PWandin Yallock
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BS1270/ 10977 Council ref: 38848/2015/0	26/5/15	Dependant Persons Unit Issuer: Govorcin & Co Building Surveyors Builder: K Garret DB36528 Insurer: QBE Cost: \$70,888	Occupancy Permit final inspection 19/2/14 and Certificate of Final inspection 11/12/16	Occupancy permit and Certificate of final inspection issued 6/4/16

Additional information under Regulation 51(2) can be obtained for an additional fee of \$47.90. This information will include details on whether a property is liable to flooding/designated land or works (uncontrolled overland drainage), subject to significant snowfalls or in a designated termite area.

Received the sum of \$47.90 for this certificate.

George Avramopoulos
Municipal Building Surveyor

NOTES

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Enquiries
Telephone

Katie Douglas
9294 6143

19 May 2015

Mr B Garrett
C/- Cedar Shed Industries Pty Ltd
24 Barry Street
BAYSWATER VIC 3153

Dear Mr Garrett

Application No: YR-2015/164

Location: 283 Monbulk Road (Lot 1 PS504228), Silvan

Proposal: Use and constuction of a dependent persons unit

You are advised that a delegate of Council has approved your planning application subject to conditions. Enclosed is your copy of the planning permit and endorsed plan(s).

It is essential that you read and consider all the conditions on your permit.

Your permit may be audited for compliance with the conditions and details shown on the endorsed plans. Failure to comply with permit conditions may result in enforcement action, including fines.

If the permit requires any changes to the submitted plans or the submission of further plans, they must be received and approved prior to the commencement of buildings and works.

Should you have any queries about this application, please contact Katie Douglas on telephone 9294 6143 or via email address mail@yarraranges.vic.gov.au.

Yours sincerely



Katie Douglas
Planning Officer - Planning Services

encl. Permit and endorsed plan(s)

COPY FOR FILE

PLANNING PERMIT

Permit No: YR-2015/164

Planning Scheme: Yarra Ranges Planning Scheme

Responsible Authority: Yarra Ranges Council

Address of the land: 283 Monbulk Road (Lot 1 PS504228), Silvan

The permit allows: Use and constuction of a dependent persons unit

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

1. The layout of the site and the size of any proposed buildings and works shown on the endorsed plans shall not be altered or modified without the written consent of the Responsible Authority.
2. The use of any land or building or part thereof as shown on the endorsed plans must not be altered or modified without the written consent of the Responsible Authority.
3. This permit will expire if the development is not started within two years of the date of this permit. The Responsible Authority may extend this period if a request is made in writing before the permit expires or within six months afterwards.
This permit will expire if the development is not completed within four years of the date of this permit. A request may be made to Responsible Authority to extend the time to complete a development or a stage of the development if:
 - a. The request for an extension is made within 12 months of the permit expiry.
 - b. The development or stage has lawfully commenced before the permit expiry.
4. The dependent person's unit must be removed from the site within 3 months of the date of which it is no longer required for the accommodate the intended person to whom the permit was granted for.

Date Issued: 19 May 2015
Application: YR-2015/164
Page 1/4


Signature of Responsible Authority
Planning & Environment Regulations 1998 Form 4

5. All sewage and sullage waste water from the proposed development must be discharged into a new EPA approved on site wastewater treatment system which retains all wastes within the boundaries of the land and is located within any wastewater envelope indicated on the endorsed plan. Approval to install or alter an onsite wastewater treatment system must be obtained from the Yarra Ranges Council Health Department.
6. The external finish of the permitted building(s) must match the existing building(s) to the satisfaction of the Responsible Authority.
7. The permitted building must not be rented or leased for separate/independent accommodation purposes to any person(s).
8. This permit does not authorise or give any further rights to subdivide the land and the permitted building does not constitute a separate dwelling.

Notes:

The granting of this permit does not obviate the necessity for compliance with the requirements of any other authority under any act, regulation or local law.

Building works approved under this planning permit shall not be commenced until a building permit has also been obtained under the *Building Act 1993* and the *Building Regulations 2006*.

Date Issued: 19 May 2015
Application: YR-2015/164
Page 2/4


Signature of Responsible Authority
Planning & Environment Regulations 1998 Form 4

IMPORTANT INFORMATION ABOUT THIS PERMIT

What has been decided?

The responsible authority has issued a permit.

Can the Responsible Authority amend this permit?

The Responsible Authority may amend this permit under Division 1A of Part 4 of the **Planning and Environment Act 1987**.

When does a permit begin?

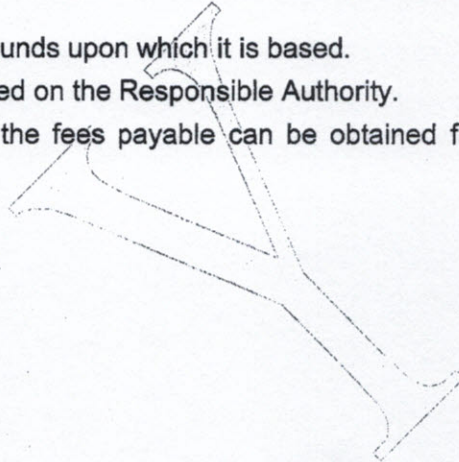
A permit operates from the date specified in the permit; or if no date is specified, from the date on which it was issued, in any other case.

When does a permit expire?

1. A permit for the development of land expires if:
 - the development or any stage of it does not start within the time specified in the permit; or
 - the development requires the certification of a plan of subdivision or consolidation under the **Subdivision Act 1988** and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
 - the development or any stage is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan of subdivision or consolidation under the **Subdivision Act 1988**.
2. A permit for the use of the land expires if:
 - the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit, or
 - the use is discontinued for a period of two years.
3. A permit for the development and use of land expires if:
 - the development or any stage of it does not start within the time specified in the permit; or
 - the development or any stage of it is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit; or
 - the use does not start within the time specified in the permit, or if no time is specified, within two years after the completion of the development; or
 - the use is discontinued for a period of two years.
4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in Section 6A(2) of the **Planning and Environment Act 1987**, or to any combination of use, development or any of those circumstances requires the certification of a plan under the **Subdivision Act 1988**, unless the permit contains a different provision:
 - the use or development of any stage is to be taken to have started when the plan is certified; and
 - the permit expires if the plan is not certified within two years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under that permit before the expiry.

What about appeals?

- The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil and Administration Tribunal, in which case no right of review exists.
- An application for a review must be lodged within 60 days after the permit was issued, unless a Notice of Decision to grant a permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.
- An application for review is lodged with the Victorian Civil and Administrative Tribunal.
- An application for review must be made on an Application for Review form which can be obtained from the Victorian Civil and Administrative Tribunal, and be accompanied by the applicable fee.
- An application for review must state the grounds upon which it is based.
- An application for review must also be served on the Responsible Authority.
- Details about applications for review and the fees payable can be obtained from the Victorian Civil and Administrative Tribunal.



BUILDING PERMIT

Building Act 1993 BUILDING REGULATIONS 2008 Regulation 213 Form 2

PART 1 of 2

Permit Number:

Refer to attached form Part 2 of 2 for conditions & notes that are part of this permit

B

10977

Property Details (include title details as & if applicable)

283 1 Monbulk Rd.
St# Lot # Street/Road

SILVAN
City/Suburb/town

VIC. 3795
State Postcode

LP/PS Val/Folio/Crown Allotment/Section/Parish/County

YARRA RANGES SHIRE
Municipal District

Nature of Work Intended Use of the Building
NEW BUILDING Dependant Persons Unit
building 9

Tot Fir m² Stage permitted: Cost/build'g work
72 \$70,888
New Blds: Schedule attached* Estimated/Contract Value

Building Classification Contact person/s
Whole 1a Brendon
Part of Building BCA Classification Owner/appl'nt/agent/builder

Details of domestic building work insurance⁵
*The issuer or provider of required insurance policy is:
delete if inapplicable/insert name of policy, issuer or provider

Issued to: (agent of owner*1) Postal Address (address for serving or giving of documents)

CEDAR SHED INDUSTRIES Name Postal Address: Builder ² Garrett, K. Name	24 Street #	Barry St. Street/Road PO. Box #	BAYSWATER City/Town/Suburb	3153 Postcode	9 738 4900 Telephone
	Address				
	24 Street #	Barry St. Street/Road PO. Box #	BAYSWATER City/Town/Suburb	3153 Postcode	9 738 4900 Telephone

Ownership Details (only if agent of owner listed above)²

Wilshaw, Wilshaw, Bourna & Bourna Owner Contact Person:	283 Postal Address	Monbulk Rd. Street/Road PO. Box #	SILVAN City/Town/Suburb	3795 Postcode	1300552551 Telephone
---	-----------------------	--------------------------------------	----------------------------	------------------	-------------------------

Details of Building Practitioners/Architects:
a. to be engaged in the building work³

Name/Category/Class/Reg. #
(Attach a summary list if there are more)

DBL36528

b. who were engaged to prepare documents for the application for this permit⁴
DPAD 16868 (Hunt)
Name/Category/Class/Reg. #
(Attach a summary list if there are more)

Inspection requirements - Mandatory notification stages for inspections are:

Occupation of building (tick):

A Certificate of Final Inspection:

is required

Foundations**
Frame
Final

(tick) Other required inspections (tick)
Concrete

An occupancy permit is required prior to the occupation/use of this building for the

whole part of this building:

Details of Relevant Planning Permit (delete if not applicable)

Permit Number & date of grant of Planning Permit

Signature, commencement and completion:

Application Number:

A

Thomas J. Govorcin - Relevant Surveyor No. BS 1270

26/05/2015

Date of this Permit

This building work:

must be commenced by: 25/05/2016
and completed by: 26/05/2017

* Delete if not applicable.

** Trenches, Footing pads, stump holes, pre-slabs

BUILDING PERMIT

Building Act 1993 BUILDING REGULATIONS 2006 Regulation 313 Form 2

PART 2 of 2

Permit Number:

Refer to attached form Part 1 of 2 for permit details that are part of this permit

B

10977

GENERAL CONDITIONS

Alternative Solution:*

An Alternative Solution was used to determine compliance with the following Performance Requirements of the BCA that relate to this project:

NIL

Building Appeals Board Determinations:*

The following determination(s) of the Building Appeals Board relate to this project:

NIL

Reporting Authorities:*

(delete if inapplicable)

The following bodies are reporting authorities for the purposes of the application for this permit in relation to the matters set out below:

Reporting Authority(s): Matter(s) reported on: Regulation(s):

Combined allotment statement:*

A statement has been issued under regulation 503 in relation to the building work that is the subject of this permit:

NIL

Compliance with other relevant Acts regulations instruments and matters

Notwithstanding that enquiry has been made prior to the issue of this permit, it remains the responsibility of the owner/s of the allotment(s)/ building(s) to which this permit refers to ensure that:

- * no work shall commence unless and until any required relevant and current **Town Planning Permit** together with any other **Permits reports or consents** required by the Building Act or the Regulations that apply to this building work has/have also been issued and that the work is consistent with any such permits reports and consents and the conditions if any that may apply.
- * the building work is not constructed over any easement of a service authority listed in regulation 310 unless that authority has first consented to the work as set down in the Regulations and any conditions have been complied with.
- * the building work is not constructed in a designated flood termite bush fire prone or alpine area without that work being compliant with the requirements of the Act and the regulations for the class and type of building work in those areas.
- * this permit issued pursuant to regulation 313 is not construed as an approval or endorsement relative to any other Act regulation control or matter pertaining to the nature to which this permit relates.

ADVISORY NOTES

to have

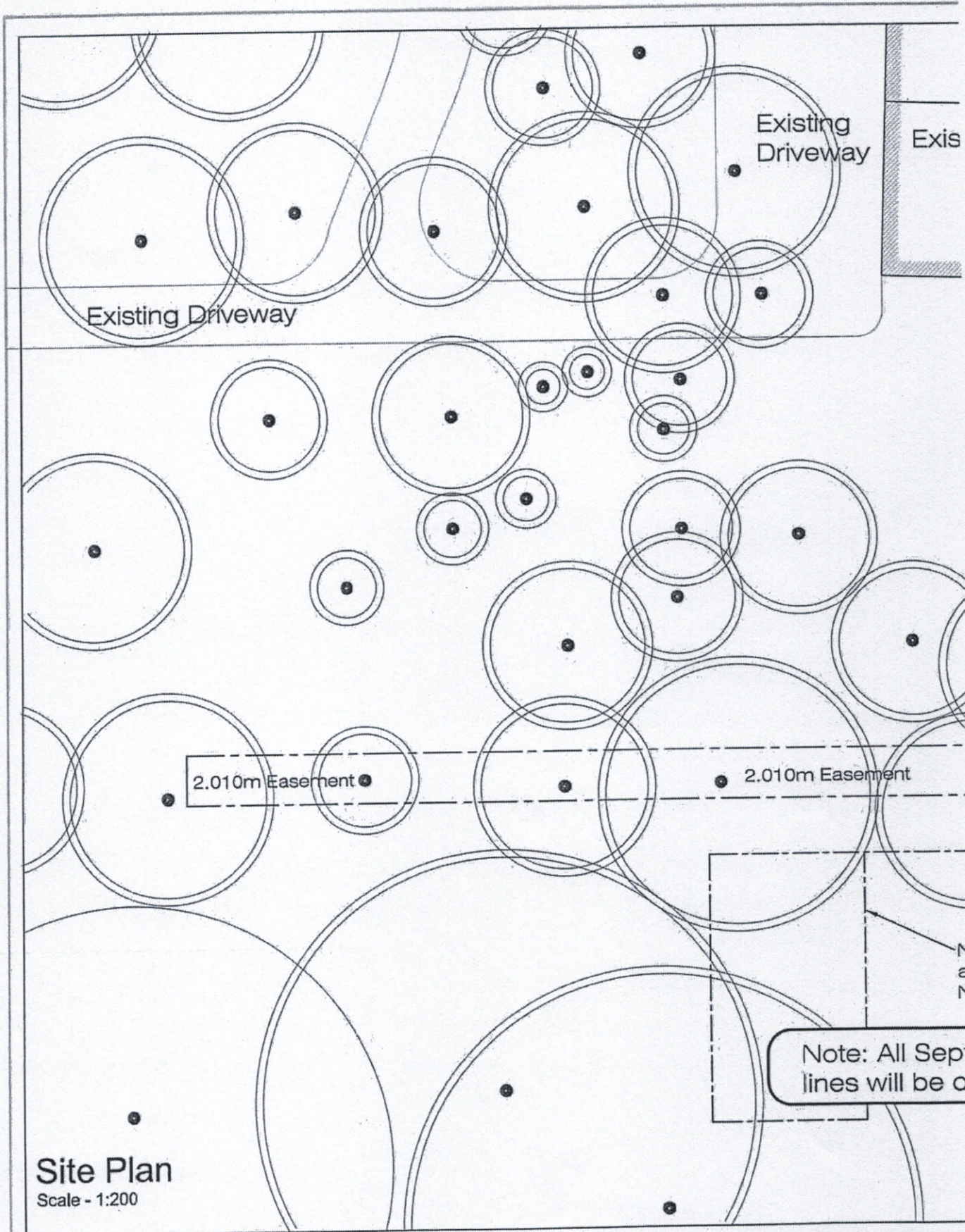
- * The builder(s) should take all reasonable steps necessary to determine the true position of the boundaries of the allotment prior to setting out and should
- * The builder(s) should take all reasonable steps necessary to locate and protect existing service pipes and conduits.
- * The builder should check with the Local Authority as to requirements for other relevant Permits such as road opening, drainage and crossover Permits and the

to ensure

- * It is the owners responsibility to ensure that the requirements of any active restrictive endorsements, caveates, covenants or other agreements or instruments
- * It is the owner/s responsibility to make all enquiries necessary to be satisfied with regard to the applicability of those matters listed above with regard to the

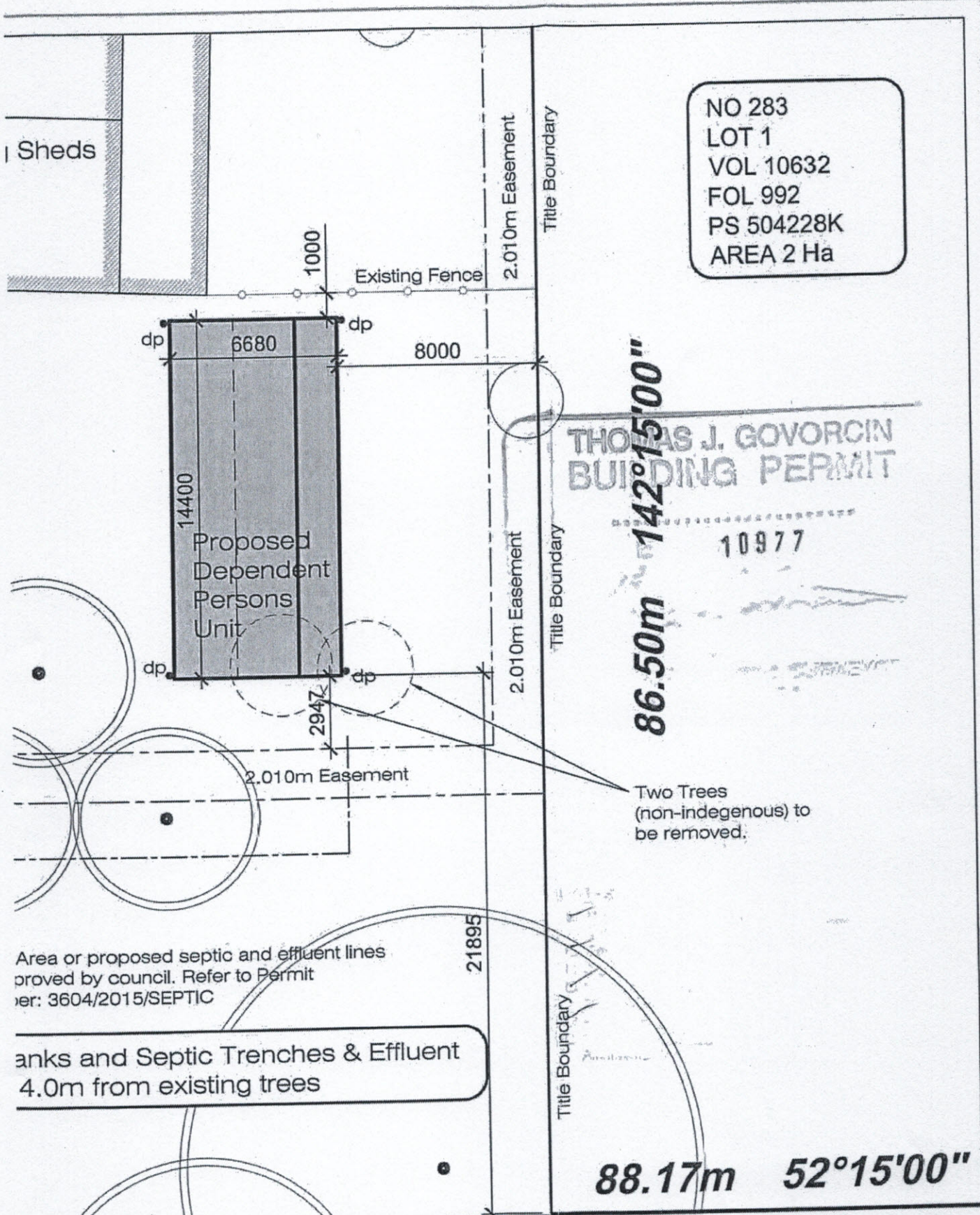
NOTES

1. Under regulation 318 an owner of a building or land, for which a building permit has been issued, must notify the relevant building surveyor within 14 days after any change in the name or address of the owner or of the builder carrying out the building work. The penalty for non-compliance is 10 penalty units.
2. Under regulation 317 the person in charge of the carrying out of building work on a allotment must take all reasonable steps to ensure that a copy of this permit and one set of any approved plans, specifications and documents are available for inspection at the allotment while the building work is in progress. They must also take all reasonable steps to ensure that the registration numbers and contact details of the builder and building surveyor and the number and date of issue of this permit are displayed in a conspicuous position accessible to the public before and during the building work to which this permit applies.
3. Include building practitioner with continuing involvement in the building work
4. Include only building practitioners with no further involvement in the building work
5. Domestic builders carrying out domestic building work forming part of this permit (where the contract price for that work is more than \$12000) must be covered by an insurance policy as required under section 135 of the Building Act 1993.



Site Plan
Scale - 1:200

Project: Prop. Dependent Persons Unit		Client: Cedar Shed Indust.	Job No. 231 Site To be printed at A3
Drawn By: DT	Issue: A..	Address: 283 Monbulk Road	
Date: Feb. 2015	Sheet No: 2 of 2	Silvan	



NO 283
 LOT 1
 VOL 10632
 FOL 992
 PS 504228K
 AREA 2 Ha

THOMAS J. GOVORCIN
 BUILDING PERMIT
 10977

86.50m 142°15'00"

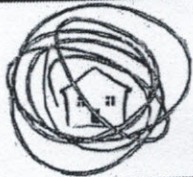
Two Trees
 (non-indigenous) to
 be removed.

88.17m 52°15'00"

Area or proposed septic and effluent lines proved by council. Refer to Permit number: 3604/2015/SEPTIC

Tanks and Septic Trenches & Effluent 4.0m from existing trees

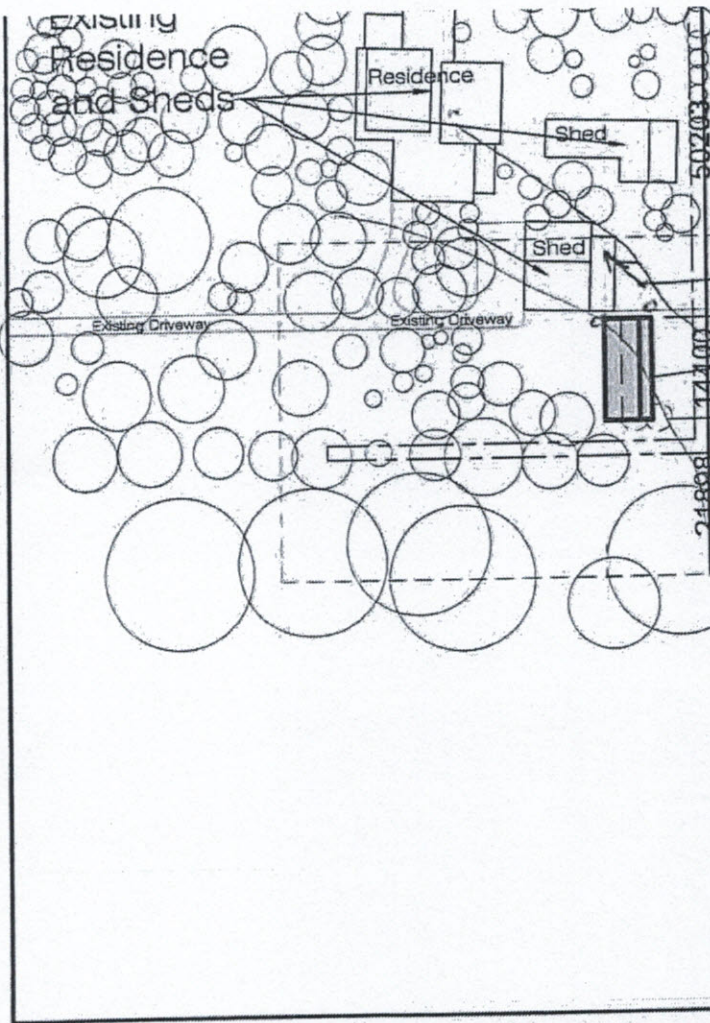
date	Amendments	Issue



TRENERGY Sustainability Reports | Building Design
 Factory 2 -26 Simcock Street Somerville VIC 3912
 P 03 5977 7118 F 03 5977 7144
 M 0466 217 998 E info@trenergy.com.au
 DP-AD 32625 Accreditation Number - VIC/BDAV/10/1171

Monbulk Road

147.83 m 322°15'00"



Refer to 1:2 page 2 of 2

CONNECT D.P.U. TO EXIST SWD'S

183.56m 52°15'00"

Site Plan
Scale - 1:1000

Project: Prop. Dependent Persons Unit		Client: Classic Cabins
Drawn By: DT	Issue: A..	Address: 283 Monbulk Road Silvan
Date: Feb. 2015	Sheet No: 1 of 2	

Job No. 231 Sit
To be printed at A

THOMAS J. EDVORCIN
BUILDING PERMIT

10977

Stormwater Drains:-

- dp Denotes downpipe location
 - dp/s Denotes downpipe and spreader location
 - dp/r Denotes downpipe rainhead with overflow pop
- Connect new downpipes to existing stormwater system via 90~ UPVC stormwater pipe laid with minimum 1:80 fall, discharged to the satisfaction of the appropriate authority. Location of existing SWD to be verified on site by builder / contractor. Ensure 100 mm cover to pipes under soil and 50 mm under concrete paving and 100 mm under areas subject to light vehicle traffic (measured to underside of paving).

on details



NO SIGNIFICANT TREE REMOVAL REQUIRED

NO CUT OR FILL GREATER THAN ONE METRE

NO 283
LOT 1
VOL 10632
FOL 992
PS 504228K
AREA 2 Ha

SITE NOTES:-

SN-1	THE EXTERNAL FINISHED SURFACE SURROUNDING THE BUILDING MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING AND GRADED TO GIVE A SLOPE OF NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE BUILDING.
SN-2	THE HEIGHT OF THE OVERFLOW RELIEF GULLY RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.
SN-3	THE GROUND BENEATH TIMBER FLOORS MUST BE GRADED SO THAT THE GROUND BENEATH THE BUILDING IS ABOVE THE ADJACENT EXTERNAL FINISHED GROUND LEVEL AND SURFACE WATER IS PREVENTED FROM PONDING UNDER THE BUILDING.
SN-4	ENSURE 90mm UPVC AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND CONNECTED TO THE STORMWATER SYSTEM VIA SILT PIT/S TO THE AUTHORITIES REQUIREMENTS.
SN-5	BATTER THE PROPOSED CUT AT 45 deg. FOR CLAY SOILS - AND 30deg. FOR SANDY SOIL AND CONSOLIDATE WITH STRAW AND CHICKEN WIRE AS REQUIRED BY LOCAL PLANNING AUTHORITY. PLANT OUT WITH INDIGENOUS GROUND COVERS AND GRASSES AT APPROX. 1.0m ctrs. OR IN ACCORDANCE WITH LANDSCAPE PLAN.
SN-6	ALL WASTEWATER TO BE CONNECTED TO EXISTING SEWER SYSTEM TO DIRECTION OF LOCAL AUTHORITY.

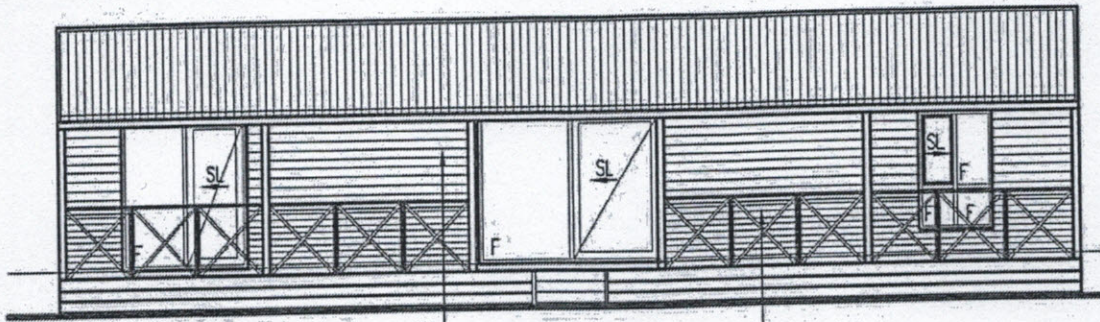
date	Amendments	Issue



TRENERGY Sustainability Reports | Building Design
Factory 2 -26 Simcock Street Somerville VIC 3912

P 03 5977 7118 F 03 5977 7144
M 0466 217 998 E info@trenergy.com.au

CP AD 32625 Accreditation Number - VICBLS/0101130

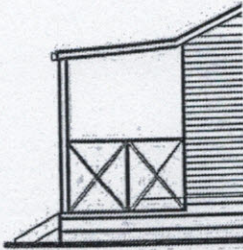


ELEVATION 1.

SCALE 1 : 100

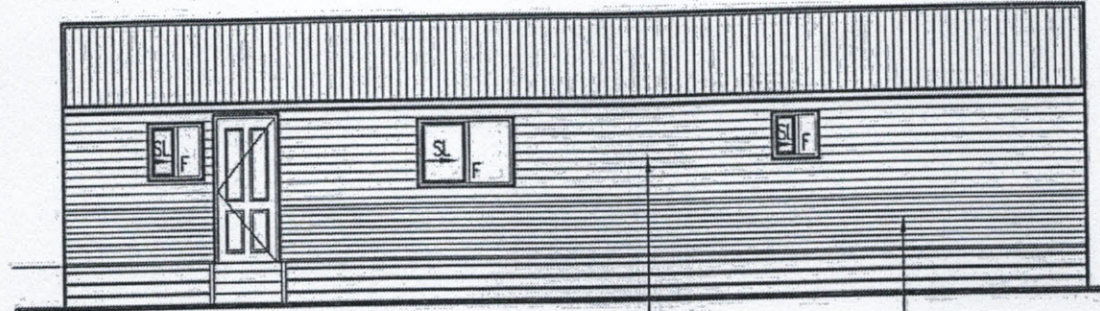
TONGUE & GROOVE WESTERN RED CEDAR CLADDING

1 SHEET COLORBOND CLADDING.



ELEVATION

SCALE 1 : 100

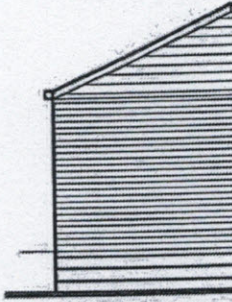


ELEVATION 3.

SCALE 1 : 100

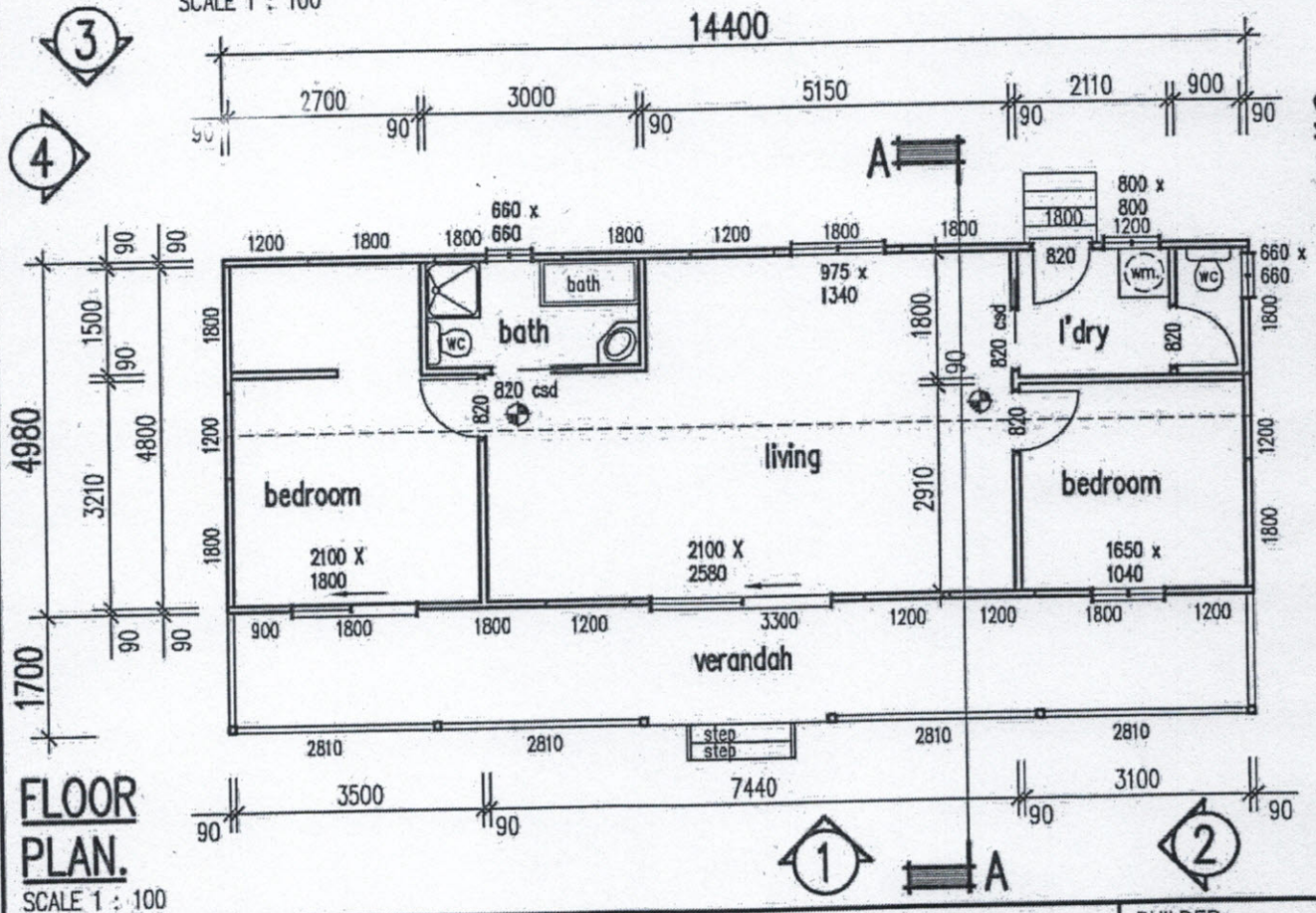
TONGUE & GROOVE WESTERN RED CEDAR CLADDING

1 SHEET COLORBOND CLADDING.



ELEVATION

SCALE 1 : 100



FLOOR PLAN.

SCALE 1 : 100

SO

THIS S
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2870 -

FOOTIN
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INTO T
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THESE
CONJU

REFER

AR

CAB

VER

ON TH
BE IN
3786
SWITC

DATE	REVISIONS	BY
8/9/14	ISSUE - A	B.H.
25/2/15	ISSUE - B	B.H.

NOTE:
CONTRACTORS & SUB-CONTRACTORS SHALL VERIFY ALL SIZES, LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS. DO NOT SCALE DRAWINGS, USE THE WRITTEN DIMENSIONS ONLY.
DRAWINGS ARE TO READ IN CONJUNCTION WITH THE CONTRACT / SPEC. FOR ALL MATERIALS AND FINISHES.

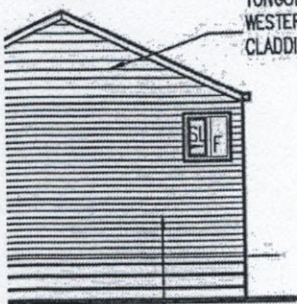
THE INTERNAL CEILING HEIGHT IS 2.1M AT THE FRONT AND REAR WALLS, AND INCREASES TO 3.20M AT THE PEAK OF THE CEILING. PLEASE SIGN BELOW TO APPROVE THE CEILING HEIGHT & CABIN DESIGN.

OWNERS SIGNATURE:..... DATE:.....

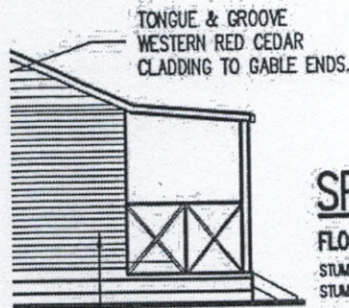
BUILDERS SIGNATURE:..... DATE:.....

BUILDER:
CEDAR S
INDUSTR
24 BARRY STREET, RBP:
BAYSWATER VIC 3153 ABN:
PHONE: (03) 9738 4900

TONGUE & GROOVE
WESTERN RED CEDAR
CLADDING TO GABLE ENDS.



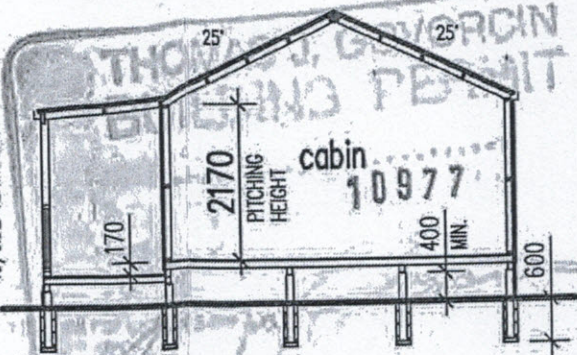
COLORBOND
CLADDING TO WALL.



COLORBOND
CLADDING TO WALL.

2170
PITCHING
HEIGHT
FFL

2124
10/SIDE VER. BEAM



SECTION A : A.

SCALE 1 : 100

GENERAL NOTES.

1) ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS :

A.S. 1288 - 2006	GLASS IN BUILDINGS - SELECTION AND INSTALLATION.
A.S. 1562 - 1992	DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING.
A.S. 1684 - 2010	NATIONAL TIMBER FRAMING CODE.
A.S. 1880 - 2006	INSTALLATION OF PARTICLEBOARD FLOORING.
A.S. 2870 - 2011	RESIDENTIAL SLABS AND FOOTINGS. PART 1*
A.S. 2904 - 1995	DAMP-PROOF COURSES AND FLASHING.
A.S. 3600 - 2009	CONCRETE STRUCTURES.
A.S. 3660.1 - 2000	CODE OF PRACTICE FOR PHYSICAL BARRIERS USED IN THE PROTECTION OF BUILDINGS AGAINST SUBTERRANEAN TERMITES.
A.S. 3700 - 2011	MASONRY IN BUILDINGS.
A.S. 3740 - 2010	WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.
A.S. 3786 - 1993	SMOKE ALARMS.
A.S. 4055 - 2012	WIND LOADINGS FOR HOUSING.
A.S. 4100 - 1998	STEEL STRUCTURES.

2) WHERE THE BUILDING (OTHER THAN A CLASS 10a) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH A.S. 3660.1

3) SAFETY GLAZING IS TO BE USED IN THE FOLLOWING CASES :
- ALL ROOMS - WITH-IN 500 MM VERTICAL OF THE FLOOR.
- BATHROOMS - WITH-IN 1500 MM VERTICAL OF BATH BASE.
- LAUNDRY - WITH-IN 1200 MM VERTICAL OF FLOOR AND / OR WITH-IN 300 MM HORIZONTAL FROM ANY DOORS.
- DOORWAY - WITH-IN 300 MM HORIZONTAL FROM DOORS.
- SHOWER SCREENS SHALL BE GRADE A SAFETY GLASS.

4) STORM-WATER SHALL BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

5) FOR BUILDINGS IN CLOSE PROXIMITY TO THE SEA ENSURE THAT ALL STEEL WORK, BRICK CAVITY TIES, STEEL LINTELS ETC., THAT ARE EMBEDDED OR FIXED TO MASONRY BE PROTECTED IN ACCORDANCE WITH A.S. 1650 OR A.S. 3700 - 2001 (TABLE 2.2), HOT DIP GALVANIZED, STAINLESS STEEL OR CADMIUM COATED.

6) ALL WET AREAS ARE TO COMPLY WITH B.C.A. F1.7 DR A.S. 3740 - 1994. WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 1800 MM ABOVE FLOOR LEVEL TO ANY SHOWER ENCLOSURES AND 150 MM ABOVE BATHS, BASINS, SINKS AND TROUGHS WITH-IN 75 MM OF THE WALL.

7) PROVIDE THERMAL INSULATION TO THE B.C.A. VICTORIAN APPENDIX PART 6 TO COMPLY WITH A.S. 1904 AND HAVE A FLAMMABILITY INDEX OF NOT MORE THAN 5.

8) RISERS - 190 MM MAXIMUM, 115 MM MINIMUM.
GOING - 355 MM MAXIMUM, 240 MM MINIMUM.
(PRIVATE STAIRS AND 250 MM FOR PUBLIC STAIRS.)
RISERS AND TREADS ARE TO BE CONSTANT IN SIZE THRU-OUT FLIGHT. PROVIDE NON-SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR EDGE OF NOSINGS.
ENSURE A MAXIMUM GAP BETWEEN RISERS IS NOT TO EXCEED 125 MM OR USE CLOSED RISERS.
PROVIDE CONTINUOUS HANDRAILING 1000 MM MINIMUM HEIGHT TO BALCONIES AND DECKS WHICH ARE 1000 MM OR GREATER ABOVE GROUND LEVEL.
HANDRAILING IS TO BE A MINIMUM OF 865 MM ABOVE ANY STAIR NOSINGS AND LANDINGS. MAXIMUM GAP BETWEEN ANY BALUSTERS IS TO BE 125 MM.

9) SMOKE ALARMS ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S. 3786 - 1993, AND UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1, 2 OR 3 BUILDING OR A CLASS 4 PART OF A BUILDING THE SMOKE ALARM SHALL BE HARD-WIRED WITH A BATTERY BACK-UP.

10) FOR TIMBER FLOORS, PROVIDE 7300MM MIN. SUB FLOOR VENTILATION PER 1000MM RUN OF EXTERNAL WALL.

SPECIFICATION NOTES.

FLOORING

STUMP HOLES
STUMPS

800MM DEEP X 300 X 300 (OPTIONAL)
90 X 90 TREATED PINE HS AT 1800MM MAX. CTRS.
SUPPORTING FLOOR ONLY & AT 1800MM MAX. CTRS.
SUPPORTING L/BEARING WALLS.

SOLE PLATES

BEARERS

MAIN JOISTS

VERANDAH JOISTS

SHEET FLOORING

BASE BOARDS

DECKING

225 X 200 X 50 CYPRESS OR TREATED PINE.
2/90 X 45 F7 TREATED PINE AT 1800MM MAX. CTRS.
90 X 35 MGP12 RADATA PINE AT 450MM MAX. CTRS.
90 X 45 MGP10 TREATED PINE AT 450MM MAX. CTRS.
15MM F11 PLYWOOD / 19MM PARTICLE BOARD FLOORING
150 X 25 TREATED PINE
90 X 20 CYPRESS PINE

OWNER TO ARRANGE WATERPROOF MEMBRANE TO WET AREA FLOORS.

WALLING

BOTTOM PLATES

TOP PLATES

STUDS

WALL BRACING

LINTELS

INSULATION

INTERNAL LINING

EXTERNAL CLADDING

WINDOWS

EXTERNAL DOOR

INTERNAL DOOR

INTERNAL CAVITY DOORS - AS NOMINATED ON THE PLAN

90 X 35 MGP10 TREATED PINE
90 X 35 MGP10 RADATA PINE
90 X 35 MGP10 RADATA PINE AT 450MM / 600MM CTRS.
45MM METAL STRAPPING
90 X 35 F17 KDHW SPAN 1800MM
POLYESTER BATTIS R2.5 PLUS SISALATION
PLASTER
TONGUE & GROOVE WESTERN RED CEDAR WEATHERBOARDS & COLORBOND SHEETING - REFER TO ELEVATIONS.
ALUMINIUM SLIDING X NOW. SIZE - POWDER COATED
2040 X 820
2040 X 820

DOORS TO SANITARY COMPARTMENTS TO COMPLY WITH B.C.A. CLAUSE 3.8.3.3 - OPEN OUTWARDS OR SLIDE OR BE READILY REMOVABLE FROM OUTSIDE UNLESS THERE IS A CLEAR SPACE OF 1200MM MIN. BETWEEN PAN AND NEAREST PART OF DOORWAY.

PROVIDE IMPERVIOUS SPLASHBACK MIN. 150MM ABOVE SINKS AND BASINS. WALLS TO SHOWERS TO BE IMPERVIOUS TO A HEIGHT OF 1800MM.

ROOF & VERANDAH

MAIN RAFTERS

VERANDAH RAFTERS

GABLE TRUSSES

RIDGE BOARD

ROOF BATTENS

STEEL RAFTERS

ROOFING

VERANDAH BEAM

VERANDAH POSTS

CAPPING/GUTTERS

INSULATION

90 X 70 MGP10 RADATA PINE
90 X 35 MGP10 RADATA PINE
REFER TRUSS MANUFACTURER
140 X 35 F17 KDHW
90 X 35 MGP10 RADATA PINE ON EDGE
89 SHS AS PER ENG. SPEC.
CORRUGATED COLORBOND SHEETING AT 25° TO CABIN & AT 5° MIN. TO VERANDAH.
140 X 45 F7 TR. PINE
100 X 100 F7 ON SUBFLOOR STRUCTURE
SELECTED COLORBOND
75MM BLANKET ROOF INSULATION

CLASSIFICATION:

BEEN CLASSIFIED AS ASSUMED
IN ACCORDANCE WITH A.S.
(MODERATELY REACTIVE CLAY).

IE FOUNDED AT MM
L. GROUND LEVEL OR 100MM MIN.
IRAL UNDERLYING STIFF SILTY
:ARING CAPACITY 100 Kpa.

SS ARE TO BE READ IN
WITH THE SOIL REPORT BY:

SCHEDULE :

71.71 M²

1 : 24.48 M²

DENOTES SMOKE ALARMS TO
IN ACCORDANCE WITH A.S.
RED TO ELECTRICAL
WITH BATTERY BACK-UP.

CONSULTANT:
**AUSPLAN
DRAFTING**

RBP: DP-AD 18888 (BEN HUNT) P.H. (03) 9739 4472
19 HERITAGE DRIVE, FAX: (03) 0739 2276
LILYDALE VIC. 3140 MOB: 0416 149 058

DESIGN: CABIN
DRAWING TITLE: WORKING DWGS.
© COPYRIGHT
THESE DRAWINGS SHALL NOT BE
REPRODUCED IN PART OR IN FULL UNDER
ANY CIRCUMSTANCES WITHOUT THE
PERMISSION OF AUSPLAN DRAFTING OR
CLASSIC CABINS.

SCALE : AS SHOWN
DATE : AUG. 2014
DRAWN : B.H.
SHEET : 1 OF 1
JOB NO. : 14 028

PROPOSED 14.4M X 4.98M CABIN AT:

**283 MONBULK
ROAD, SILVAN.**

FOR: BERNIE & LOUISE WILSHAW.

CERTIFICATE OF FINAL INSPECTION

Building Act 1993 BUILDING REGULATIONS 2006 Regulation 1006 Form 7

Certificate Number:

F	10977
----------	--------------

CEDAR SHED INDUSTRIES

24 Barry St.
BAYSWATER VIC. 3153

Property Details

283 **1 Monbulk Rd.** **SILVAN** **3795**
No. Lot # Street/Road City/Suburb P/code
 YARRA RANGES SHIRE
LP/PS Val/Folio/Crown Allotment/Section/Parish/County Municipal District

Owners Details

Wilshaw, Wilshaw, Bouma & Bouma

Description of building work

WHOLE **Dwelling** **1a**
Part of building Permitted use BCA Class/s

Alternative Solution:

(delete if inapplicable)

An Alternative Solution was used to determine compliance with the following Performance Requirements of the BCA that relate to the project:
(list matters not referenced on the relevant building permit) NIL

Building Appeals Board Determinations:

(delete if inapplicable)

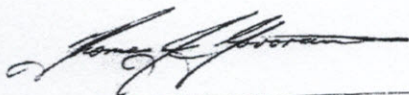
The following determinations of the Building Appeals Board relate to this project:
(list matters not referenced on the relevant building permit) NIL

Directions

All directions under Part 4 of the **Building Act 1993** have been complied with.

Date of inspection

11/12/2016



Thomas J. Govorcin - Relevant Surveyor No.BS 1270

Date of issue:

6/04/2016

Version 9 Aug 06

125 Rattray Road, Montmorency Victoria 3094

Telephone: (03) 9 431 2216, Mobile: 041 935 7758, eMail: office@govorcinc.com.au

OCCUPANCY PERMIT

Building Act 1993 BUILDING REGULATIONS 2006 Regulation 1005 Form 5

PART 1 of 2

Occupancy Permit Number:

O 10977

Wilshaw, Wilshaw, Bouma & Bouma

283 Monbulk Rd.
SILVAN VIC. 3795

Property Details

283		Monbulk Rd.	SILVAN	VIC 3795
No.	Lot #	Street/Road	City/Suburb	Postcode
			
LP/PS	Voi/Folio/Crown Allotment/Section/Parish/County			

YARRA RANGES SHIRE
Municipal District

Building Details*:

Part of building:

WHOLE

Permitted Use:

Dwelling

BCA. Class(s):

1a

Maximum permissible floor live load: Maximum No. of people to be accommodated

3kPa 25

(Tick)

*Complete this portion only if an occupancy permit is required under Division 1 of Part 5 of the Building Act 1993

Places of Public Entertainment:**

Place of Public Entertainment:	Prescribed class of temporary structure:
Public Entertainment to be conducted:	Period of operation of this permit:

**Complete the applicable parts of this portion only if an occupancy permit is required under Division 2 of Part 5 of the Building Act 1993

Alternative Solution (delete if inapplicable):

An Alternative Solution was used to determine compliance with the following Performance Requirements of the NCC that relate to the project:
(list matters not referenced on the relevant building permit)

Building Appeals Board Determinations: (delete if inapplicable)

The following determinations of the Building Appeals Board relate to this project:
(list matters not referenced on the relevant building permit) NIL

Reporting Authorities: (delete if inapplicable)

The following bodies are reporting authorities for the purposes of the application for this permit in relation to the matters set out below:

Reporting Authority: <u>NIL</u>	Matter reported on: <u>NIL</u>	Regulation: <u>NIL</u>
---------------------------------------	--------------------------------------	------------------------------

Approved location for display of occupancy permit:

(delete if inapplicable)

The approved location for the display of this permit for the purpose of regulation 1007 is: **On the wall next to the entrance door**

Suitability for occupation:

The building or place of public entertainment or part of a building or place of entertainment to which this permit applies is suitable for occupation.

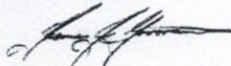
Date of inspection

19/02/2014

Conditions: (delete if inapplicable)

Occupation is subject to the following conditions: **NIL**
set down on the attached form Part 2 of 2

Signed and dated:



Relevant building surveyor
Thomas J. Govorcin BU. 1270

Date of issue: 6/04/2016

Version 9 Aug 06

Notes:

*Complete this portion only if an occupancy permit is required under Division 1 of Part 5 of the Building Act 1993
**Complete the applicable parts of this portion only if an occupancy permit is required under Division 2 of Part 5 of the Building Act 1993

125 Rattray Road, Montmorency Victoria 3094

Telephone: (03) 9 431 2216, Mobile: 041 935 7758, eMail: office@govorcin.com.au

PART 2 of 2 - OCCUPANCY PERMIT CONDITIONS SHEET

O 10977

The Following Conditions Apply To Occupancy Permit Number: *(leave blank if inapplicable)*

1. Essential safety measures

Essential safety measures must be maintained in accordance with the maintenance requirements set out in the following table:

<u>Essential Safety Measure</u>	<u>BCA or other provision*</u>	<u>Frequency & Type of Maintenance required</u>
✓ Emergency lighting	BCA. Part E4, AS 2293.1	6 Mo. to AS. 2293.2
✓ Exit doors	BCA. Section D	3 Mo. inspection to confirm exit doors are intact, operational & fitted with conforming hardware.
✓ Exit signs	BCA. Part E4, AS 2293.1	6 Mo. to AS. 2293.2
Fire curtains	BCA. Spec H 1.3	Ann. inspection
Fire dampers	AS. 1682.2	Ann. inspection to AS. 1851.6
Fire detectors and alarm systems	BCA. E 1.7, AS. 1670	Wkly. to AS. 1851.8
Fire doors (Inc. Signs)	BCA. Spec C3.4, AS. 1905.1	Mo. to AS. 1851.7
✓ Fire extinguishers (portable)	BCA. E1.6, AS. 2444	6 Mo. to AS. 1851.1
✓ Fire hose reels	BCA. E1.4	6 Mo. to AS. 1851.2
✓ Fire hydrants	BCA. E 1.3, AS 2419.1	Wkly. to AS. 1851.4
✓ Fire indices for materials	BCA. C.10, AS 1530.3	Ann. inspection to confirm no material with potentially non-conforming fire indices occur.
Fire isolated passageways	BCA. sections C & D	Ann. inspection
Fire isolated stairs	BCA. sections C & D	Ann. inspection
✓ Fire mains	BCA. Part E1, AS. 2118, AS.2419.1	Wkly. to AS. 1851.4
✓ Fire resisting structures	BCA. Section C	Ann. inspection
Fire shutters	BCA. Spec. C 3.4, AS. 1905.2	Ann. inspection
Fire windows	BCA. Spec. C 3.4	Ann. inspection
✓ Mechanical ventilation systems	BCA. E2.2, G 3.8, Spec. H 1.3, AS. 1668	Mo. to AS. 1851.6, AS. 3666
✓ Paths of travel to exits	BCA. Section D	3 Mo. inspection to confirm travel paths are intact
Penetrations in fire rated structures	BCA. Part C 3	Ann. inspection
Smoke alarms	BCA. E 1.7, G 3.8, Vic H 101.9 & H 103	Mo. to AS. 1851.8 (as applicable)
Smoke doors	BCA. C 3.4	Mo. to AS. 1851.7 equivalent
Smoke vents	BCA. E 2.4, G 3.8, AS. 2665	6 Mo. to AS. 1851.5
Sprinkler systems	BCA. E 1.5, AS. 2118, CPIRLSS*	Wkly. to AS. 1851.3
Static water storage	BCA. Part E1, AS. 2118, AS.2419.1	Ann. inspection
Vehicular access per BCA. C2.3	BCA. C 2.4	Ann. inspection

2. Building details and other conditions applicable to this permit:

Legend:

- Ann. annually
- Mo. monthly
- Wkly. weekly
- BCA. Building Code of Australia
- Spec. specification from the BCA.
- AS. Australian Standard
- Vic. Victorian variation of the BCA.
- CPIRLSS* Code of practice or installation of residential fire safety sprinkler systems.

125 Rattray Road, Montmorency Victoria 3094

Telephone: (03) 9 431 2216, Mobile: 041 935 7758, eMail: office@govorcin.com.au

CERTIFICATE OF FINAL INSPECTION

Building Act 1993 BUILDING REGULATIONS 2006 Regulation 1006 Form 7

Certificate Number:

F	10977
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CEDAR SHED INDUSTRIES

24 Barry St.
BAYSWATER VIC. 3153

Property Details

283

No.

LP/PS

1 Monbulk Rd.

Lot # Street/Road

SILVAN

City/Suburb

3795

P/code

YARRA RANGES SHIRE

Municipal District

Vol/Folio/Crown Allotment/Section/Parish/County

Owners Details

Wilshaw, Wilshaw, Bouma & Bouma

Description of building work

WHOLE

Part of building

Dwelling

Permitted use

1a

BCA Class/s

Alternative Solution: *(delete if inapplicable)*

An Alternative Solution was used to determine compliance with the following Performance Requirements of the BCA that relate to the project:
(list matters not referenced on the relevant building permit) NIL

Building Appeals Board Determinations: *(delete if inapplicable)*

The following determinations of the Building Appeals Board relate to this project:
(list matters not referenced on the relevant building permit) NIL

Directions

All directions under Part 4 of the **Building Act 1993** have been complied with.

Date of inspection

11/12/2016



Thomas J. Govorcin - Relevant Surveyor No. BS 1270

Date of issue:

6/04/2016

Permit No: 3604/2015/SEPTIC
Permit Date: 17 February 2016
Enquiries: Public Health Services

Yarra Ranges Council

PO Box 105

Lilydale Vic 3140

DX 34051

Call 1300 368 333

Fax 03 9735 4249

mail@yarraranges.vic.gov.au

www.yarraranges.vic.gov.au

**Yarra
Ranges
Council**

Mr B Wilshaw
283 Monbulk Road
SILVAN VIC 3795

APPROVAL TO USE A SEPTIC TANK SYSTEM

*in accordance with the
Environment Protection Act 1970
Part IXB, as amended.*

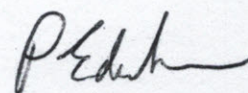
Permit No: 3604/2015/SEPTIC

This is to certify that the Septic Tank System situated at:

283 Monbulk Road, Silvan VIC 3795

and approved for installation or alteration on **17 February 2015**, has been inspected and approved by the Yarra Ranges Council for use. This approval is subject to the provisions of the above Act and any modifications and conditions imposed by Council.

Please Note: It is the responsibility of the owner of the septic system to obtain **Certificates of Compliance** for the internal plumbing and sewer drain into the septic tank. These are supplied by the contractors carrying out the work and are their guarantee of compliance with plumbing regulations.



**Peter Edwards
Environmental Health Officer**

17 February 2016

Certifier's Name	Douglas Polkinghorne	Licence N°	28723	Compliance Cert. N°	11595898
INSTALLATION ADDRESS				Compliance Cert. PIN	8657
Consumer's Name	B,L Wilshaw				
Number/Lot/Street	283 Monbulk rd				
Town/Suburb	Silvan	Post Code	3795		
Consumer Phone				Remember you can lodge two ways: 1. Online using eToolbox at www.vba.vic.gov.au 2. Through the IVR phone system 1300 365 900	

DATE OF COMPLETION OF PLUMBING WORK
17/06/2015

BELOW GROUND SANITARY DRAINS

Please tick this box to confirm you have lodged an 'as-laid' property drainage plan with the relevant Water Agency (where a drainage plan is required by that agency). Section 221ZO Building Act 1993.

Where a 'Consent to Connect/Alter' underground sanitary drainage or install recycled water (dual pipe) systems is required to be sought from a Water Agency, please provide the consent number below

WATER AGENCY 'CONSENT TO CONNECT' NO.

VALUE OF PLUMBING WORK

Please tick the box that represents the appropriate value of plumbing work. (Include the cost of materials and appliances regardless of whether they were purchased from you or not)
Rule a line through the others.

Less Than \$750	<input type="checkbox"/>	\$1000 - \$4999	<input type="checkbox"/>
\$750 - \$999	<input type="checkbox"/>	Above \$5000	<input checked="" type="checkbox"/>

Tick to identify the type of work completed:

DOMESTIC	<input checked="" type="checkbox"/>	NON-DOMESTIC	<input type="checkbox"/>
----------	-------------------------------------	--------------	--------------------------

INSTALLATION DATA
Circle appropriate number/s and insert any installation/appliance/fixture details in the Installation Details section:

ROOF PLUMBING (incl above ground stormwater drain)	
SANITARY PLUMBING	
SEPTIC TANK INSTALLATION	②
DRAINAGE (below ground sewer)	
DRAINAGE (below ground stormwater)	
COLD WATER PLUMBING	
HOT WATER PLUMBING	
MECHANICAL SERVICES (includes duct fixing)	
BACKFLOW PREVENTION (medium & high risk only)	
RESIDENTIAL & DOMESTIC FIRE SPRINKLER SYSTEMS	
GREY OR RECYCLED WATER	
GASFITTING (natural gas type A installation)	
GASFITTING (LPG type A installation)	
GASFITTING (other types of gases)	
FIRE PROTECTION	
IRRIGATION	
REFRIGERATED AIR-CONDITIONING	
SOLAR INSTALLATION	
RAINWATER TANK INSTALLATION	

INSTALLATION DETAILS (eg. scope of work undertaken, appliance name, appliance type, serial number, etc.)

Install 3200 ltr septic tank and pumpwell, pump line and 90 meters of ag drains as per council standards. connect inlet to new dwelling.

I certify that the above plumbing work complies in all respects with the plumbing laws as defined in Part 12A of the Building Act 1993
Please tick as appropriate:

The plumbing work was carried out by me or under my supervision.	<input checked="" type="checkbox"/>	Compliance Certificate Status	Lodged
I have inspected and tested the work started by another licensed practitioner. Any necessary further work was carried out by me or under my supervision.	<input type="checkbox"/>	Date Lodged	17/06/2015

Note: A misstatement of fact, including an omission, is an offence under the Building Act.

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CERTIFICATE OF ELECTRICAL SAFETY for Non-Prescribed Electrical Installation Work

ELECTRICITY SAFETY ACT 1998, ELECTRICITY SAFETY (INSTALLATIONS) REGULATIONS 2009

Certificate no.

6139 2552 3



CERTIFICATE OF COMPLIANCE

1 Responsible Person (eg. electrical contractor, supervising electrician, electrician)

REC reg./licence no. Telephone no.

Name

Business Address

2 Licensed Electrical Installation Worker (eg. electrician)

Licence no.

Name

3 Details of Electrical Installation

Name of customer

Address of installation (include lot no. if required)

Suburb or town Postcode

Telephone

NMI (if available)

4 Electrical Work Undertaken

No. light points	No. single	Socket outlets	No. doubles	Have you installed wiring or equipment associated with Air Conditioning?
<input type="text" value="12"/>	<input type="text" value="7"/>	<input type="text" value="14"/>	<input type="text"/>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Maximum demand in amps per phase on completion			Consumers mains capacity in amps	
<input type="text" value="32Amps"/>			<input type="text" value="40Amps"/>	

Description of work undertaken (if insufficient space, please attach list)

**Install and Power Bungalow.*

- 4 OBL WP GPO'S
- 4 WP Light Fittings
- 1 x 7KW SPLIT AC
- 6 x Single GPO (ONE 10AMP DEDICATED CIRCUIT)
- 14 OBL GPO'S
- 1 x 15AMP GPO
- 7 x DOWNLIGHTS
- 1 x PENDANT
- 3 x SWEEP FANS
- 2 x EX FANS
- SUB BOARD + KWH METER
- 4 x Single Gang SW
- 2 x Two Gang SW
- 1 x 3 Gang SW
- 1 x Septic Pump.
- 2 x Hand wired Smoke Detectors.

5 Has this *electrical installation work* failed a previous audit? Yes No

If yes, quote previous certificate number

6 Type of property where the electrical installation work is carried out: (refer back of certificate for types)

1 Domestic 2 Non Domestic 3 Construction

I, the licensed electrical installation worker named above, who carried out the electrical installation work described above, certify that the electrical work has passed all the required tests and complies in all respects with the Electricity Safety Act 1998 and the Electricity Safety (Installations) Regulations 2009.

Signature (Licensed Electrical Installation Worker)

7 Date of completion of work 8 Date Certified



Creating a safer state with electricity and gas

Please note: The electrical installation work described above may be subject to audit by representatives of Energy Safe Victoria.

NON-PREScribed Customer copy

Cardifier's Name Gaetano Corrone **Licence No** 36735
INSTALLATION ADDRESS
Consumer's Name B Wilshaw
Number/Lot/Street 283 283 Monbulk Rd
Town/Suburb Silvan **Post Code** 3795
Consumer Phone

Compliance Cert. No
 11694769
Compliance Cert. PIN
 9089
Remember, you can lodge your work through the VBA online system. For more information, visit www.vba.vic.gov.au or call 1300 30 30 30.

DATE OF COMPLETION OF PLUMBING WORK
 01/09/2015

INSTALLATION DATA
 Circle appropriate number/s and insert any installation/appliance/fixture details in the Installation Details section:

BELOW GROUND SANITARY DRAINS

Please tick this box to confirm you have lodged an 'as-laid' property drainage plan with the relevant Water Agency (where a drainage plan is required by that agency), Section 221ZO Building Act 1993.

Where a 'Consent to Connect/Alter' underground sanitary drainage or install recycled water (dual pipe) systems is required to be sought from a Water Agency, please provide the consent number below

WATER AGENCY 'CONSENT TO CONNECT' NO.

SANITARY PLUMBING ①

COLD WATER PLUMBING ⑤
HOT WATER PLUMBING ⑥

VALUE OF PLUMBING WORK

Please tick the box that represents the appropriate value of plumbing work. (Include the cost of materials and appliances regardless of whether they were purchased from you or not) Rule a line through the others.

Less Than \$750 \$1000 - \$4999
 \$750 - \$999 Above \$5000

Tick to identify the type of work completed:

DOMESTIC NON-DOMESTIC

GASFITTING (LPG type A installation) ③

INSTALLATION DETAILS (eg. scope of work undertaken, appliance name, appliance type, serial number, etc.)

Completed plumbing rough in to new laundry, kitchen, and bath room. suspended sewer and storm water. LPG gas to hot water and cook top. Storm water to new tank. no in ground storm water

I certify that the above plumbing work complies in all respects with the plumbing laws as defined in Part 12A of the Building Act 1993. Please tick as appropriate:

The plumbing work was carried out by me or under my supervision.

I have inspected and tested the work started by another licensed practitioner. Any necessary further work was carried out by me or under my supervision.

Compliance Certificate Status

Lodged

Date Lodged

17/09/2015

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Certifier's Name	Sefton Leaver	Licence N°	50234	Compliance Cert. N°	11599600
INSTALLATION ADDRESS				Compliance Cert. PIN	6124
Consumer's Name	Bernie Wilshaw			Remember you can lodge two ways: 1. Online using eToolbox at www.vba.vic.gov.au 2. Through the IVR phone system 1300 365 900	
Number/Lot/Street	283 Monbulk rd				
Town/Suburb	Silvan	Post Code	3795		
Consumer Phone					

DATE OF COMPLETION OF PLUMBING WORK
28/08/2015

BELOW GROUND SANITARY DRAINS

Please tick this box to confirm you have lodged an 'as-laid' property drainage plan with the relevant Water Agency (where a drainage plan is required by that agency). Section 221ZO Building Act 1993.

Where a 'Consent to Connect/Alter' underground sanitary drainage or install recycled water (dual pipe) systems is required to be sought from a Water Agency, please provide the consent number below

WATER AGENCY 'CONSENT TO CONNECT' NO.

VALUE OF PLUMBING WORK

Please tick the box that represents the appropriate value of plumbing work. (Include the cost of materials and appliances regardless of whether they were purchased from you or not)
Rule a line through the others.

Less Than \$750 \$1000 - \$4999

\$750 - \$999 Above \$5000

Tick to identify the type of work completed:

DOMESTIC NON-DOMESTIC

INSTALLATION DATA
Circle appropriate number/s and insert any installation/appliance/fixture details in the Installation Details section:

ROOF PLUMBING (incl above ground stormwater drain)	0
SANITARY PLUMBING	
SEPTIC TANK INSTALLATION	
DRAINAGE (below ground sewer)	
DRAINAGE (below ground stormwater)	
COLD WATER PLUMBING	
HOT WATER PLUMBING	
MECHANICAL SERVICES (includes duct fixing)	7
BACKFLOW PREVENTION (medium & high risk only)	
RESIDENTIAL & DOMESTIC FIRE SPRINKLER SYSTEMS	
GREY OR RECYCLED WATER	
GASFITTING (natural gas type A installation)	
GASFITTING (LPG type A installation)	
GASFITTING (other types of gases)	
FIRE PROTECTION	
IRRIGATION	
REFRIGERATED AIR-CONDITIONING	
SOLAR INSTALLATION	
RAINWATER TANK INSTALLATION	

INSTALLATION DETAILS (eg. scope of work undertaken, appliance name, appliance type, serial number, etc.)

Works carried out in Cabin.
Install Coonara wood fire and flue kit to cabin.
Penetrate flue through roof and seal with Dektite.

I certify that the above plumbing work complies in all respects with the plumbing laws as defined in Part 12A of the Building Act 1993
Please tick as appropriate:

The plumbing work was carried out by me or under my supervision.

I have inspected and tested the work started by another licensed practitioner. Any necessary further work was carried out by me or under my supervision.

Compliance Certificate Status **Lodged**

Date Lodged **28/08/2015**

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